

### BID OPENING CERTIFICATION RECORD

Date of Bid Walk: 11/9/2023 Bid Due Date: 11/16/2023 HNS: 24-16

Public Body Estimate

Address	PBE	PBE -15%	PBE +15%
1124 White Plains Rd	<del>\$45,000</del>	<del>\$38,250</del>	<del>\$51,750</del>
	\$39,100	\$33,235	\$44,965

Bid Results

Bidder	Contractor	Amount	Projected Start Date	Projected Finish Date
1.	Jasper Environmental Services	<del>\$50,900</del> \$43,400	<del>March 4, 2024</del> March 6, 2024	<del>April 5, 2024</del> April 3, 2024
<del>2.</del>	<del>Stahmm Construction</del>	<del>\$36,035</del>		
3.				
4.				

Bids Opened By: Devin Smith

Witness: \_\_\_\_\_

Bids Recorded By: Devin Smith

Date: 11/16/2023

12/5/2023



**Company Acknowledgement:**

The undersigned, having become thoroughly familiar with the terms, conditions, limitations, and provisions of the housing improvement work to be performed at 1124 White Plains Rd to be funded through the City of Charlotte Neighborhood & Business Services, in addition, having fully inspected the site in all particulars, hereby proposes and agrees to fully perform the work within the time stated and in strict accordance with the proposed contract documents including furnishing of any and all labor and materials, and to do all work required to complete said Work in accordance with the advised respective contractual, for the sum of money:

**All labor, materials, services and equipment necessary for the completion of the Work shown on the Drawings and in the Specifications:**

*Forty-three thousand four hundred & 00/100 Dollars (\$ 43,400.00)*

*Written total*

Specs Dated: 12.4.2023      Number of Pages: 9 total  
(5 page work write-up/ 1 page lead scope/ 2 page asbestos scope/ 1 page floor plan)

Addenda # 1 Dated:      Number of Pages:

Addenda # 2 Dated:      Number of Pages:

**Project Schedule: Minimum Start Date -** *MARCH 6, 2024*

**Completion Deadline:** *APRIL 3, 2024*

**Please Print and Sign:**

Company Name/Firm: *JASPER ENVIRONMENTAL SERVICES*

Authorized Representative Name: *THADDEUS KUZNIAK*

Signature: *[Signature]*      Date: *12/4/2023*

# Work Specification

Response Due: 12/4/2023

Prepared By:  
**City of Charlotte Housing & Neighborhood Services**  
**600 E. Trade Street**  
**Charlotte, NC 28202**  
**(704) 336-7600**

## Property Details

Address:	1124 White Plain Rd Charlotte, NC 28213	Owner:	Sharon McIlwain
Structure Type:	Single Unit	Owner Phone:	[REDACTED]
Square Feet:	1300	Program(s):	Healthy Homes Tested- NO LEAD SHFY2020 CDBG SIP (Hidden Valley)
Year Built:	1965		
Property Value:	69900		
Tax Parcel:	08906317		
Census Tract:			
Property Zone:	Council District 4		

## Additional Comments

Contractors are required to permit all work and include County inspections per the City of Charlotte requirements.

## Repairs

<u>Description</u>	<u>Floor</u>	<u>Room</u>	<u>Exterior</u>
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### All Contractor's Project Requirements

The contractor is responsible for project requirements, including but limited to:

Obtaining all permits required. Said permits shall include all items in this scope of work.

Provide temporary toilet facilities from job start until the completion of work.

Provide AS MANY roll-off dumpsters as needed without damaging the site. Collect construction debris using dust control methods. Remove dumpster and repair any evidence of the dumpsters use. Contractor may haul debris away daily using dump trailers.

Bid Cost: \_\_\_\_\_ X \_\_\_\_\_ = \$2,000.<sup>00</sup>

Base                      Quantity                      Total Cost

# Work Specification

See Attached Lead Scope

Rooms 3 & 4

All work shall be performed in accordance with applicable regulations and shall meet all applicable building codes. Building permits will be obtained as appropriate. Mecklenburg County requires building permits for Lead Hazard Reduction if the work involves activities subject to permitting under general conducts.

$$\text{Bid Cost: } \frac{\text{Base} \times \text{Quantity}}{\text{Total Cost}} = \frac{\text{ } \times \text{ } = \$1000.00$$

## Asbestos Abatement Scope

See attached scope. An allowance to complete the scope of work attached.

$$\text{Bid Cost: } \frac{\text{Base} \times \text{Quantity}}{\text{Total Cost}} = \frac{\text{ } \times \text{ } = \$2500.00$$

## Exterminate Termites

Exterminate for termites. Drill and patch foundation and pavement where necessary. Exterminator must be licensed and provide a 1 year guarantee with an optional yearly renewable warranty for the homeowner.

$$\text{Bid Cost: } \frac{\text{Base} \times \text{Quantity}}{\text{Total Cost}} = \frac{\text{ } \times \text{ } = \$1400.00$$

## Exterminate Insects

Exterminate for insects. Include a one year warranty. All extermination shall be performed by a licensed contractor.

$$\text{Bid Cost: } \frac{\text{Base} \times \text{Quantity}}{\text{Total Cost}} = \frac{\text{ } \times \text{ } = \$600.00$$

## Trim, Soffit, Fascia, Barge Board, and Eaves Boxing Repairs

Exterior

Replace all rotted, damaged, and deteriorated wood areas around the exterior of the house. Caulk, prep, and paint. Install sidewall flashing where required. Match existing materials, trims, and color.

$$\text{Bid Cost: } \frac{\text{Base} \times \text{Quantity}}{\text{Total Cost}} = \frac{\text{ } \times \text{ } = \$3800.00$$

## Masonry Patch & Repoint

Front and Side Porch

Install bricks where missing and re-set loose bricks. Cut out mortar at least 1/2". Remove all loose material with clear water. Saturate joints with water and repoint in 1/2" lifts using Portland cement mortar. Reinstall any flashings, tool concave joints and clean brick face. Front, side steps and rowlock.

$$\text{Bid Cost: } \frac{\text{Base} \times \text{Quantity}}{\text{Total Cost}} = \frac{\text{ } \times \text{ } = \$1000.00$$

# Work Specification

## Rear Concrete Patio with Brick Foundation

Rear Patio

Exterior

Remove carpet and debris from slab. Pressure wash the entire Slab.

Remove and properly dispose of old deteriorated Ramp.

Point up corners of slab and steps with brick and mortar to code requirements.

Install new handrails on one side of brick steps and where patio height exceeds 30in with pressure treated wood. Size & dimensions to code.

$$\text{Bid Cost: } \frac{\text{Base}}{\text{Base}} \times \frac{\text{Quantity}}{\text{Quantity}} = \frac{\$2800.00}{\text{Total Cost}}$$

## Vinyl Window

Dispose of window units and any security bars. Field measure, order and install new Energy Star rated vinyl, double glazed LOW-E windows including half screens. Insulate rough opening. Install new extension jambs, casing and sill as needed, prime and paint. Exterior trim to be wrapped in PVC coated aluminum coil as needed. Repair all areas disturbed by removal and installation. This installation is to include repairing any damaged header, framing (to include king studs, jack studs etc.) sub-floor, floor joists, band joists and sill. Any windows replaced in a bathroom must have tempered glass.

\* Replace windows - Side B, C, & D Only- Not Front Windows.

$$\text{Bid Cost: } \frac{\$800}{\text{Base}} \times \frac{8}{\text{Quantity}} = \frac{\$6,400.00}{\text{Total Cost}}$$

## Prehung Metal Door Entrance

Front, Side, and Rear Entry

Remove entire existing door assembly and storm door; dispose of properly. Install new Energy Star rated pre-hung metal exterior door (Owner's choice of style, color, and hardware finish). Insulate cavity. Install single cylinder dead bolt and lever handled entry set door hardware keyed alike. New casing and shoe molding will match existing. Apply primer and topcoat. This installation to include repairing any damaged header, door framing, to include wall framing, sub-floor, floor joists and sill. Install an aluminum combination storm and screen door.

$$\text{Bid Cost: } \frac{\$1500}{\text{Base}} \times \frac{3}{\text{Quantity}} = \frac{\$4500.00}{\text{Total Cost}}$$

## Dryer Vent

Hall Bathroom

Install 4" rigid aluminum vent tubing from the specified dryer location to a 4" wall mounted dryer vent hood with a back flow preventer and NO screening. Connect dryer duct to dryer. Fasteners shall not protrude into the interior of the exhaust duct. Seal all seams in the system with duct mastic or aluminum foil tape, not duct tape. Secure duct and hood to framing.

$$\text{Bid Cost: } \frac{\text{Base}}{\text{Base}} \times \frac{\text{Quantity}}{\text{Quantity}} = \frac{\$600.00}{\text{Total Cost}}$$

# Work Specification

## SMOKE AND CARBON MONOXIDE DETECTORS

Install UL approved ceiling mounted smoke and heat detectors permanently hard wired into outlet boxes with battery backups in all bedrooms and outside of all sleeping areas.

Detector in the hall way shall be a combination CO/smoke detector.

All detectors shall be interconnected so that when any one detector goes off, all other detectors also go off.

Installation shall comply with all requirements of the Electrical Code.

Bid Cost:	X	=	\$1500. <sup>00</sup>
Base	Quantity		Total Cost

## WET LOCATION OUTLETS PER CODE

Upgrade all existing outlets and install additional outlets as necessary to meet all requirements of the current Electrical Code for wet location outlets (kitchen and bathroom).

All outlets shall be flush mounted ground fault circuit interrupted duplex receptacles with cover plates.

Fish wire as necessary and repair all damage to finished surfaces caused by installation.

Bid Cost:	X	=	\$2000. <sup>00</sup>
Base	Quantity		Total Cost

## 17" Height Commode Replace

1/2 Bathroom

Install a 17" height, 2 piece, close coupled, white, vitreous china commode with a maximum water usage per flush of 1.6 gallons. Include plastic or pressed wood white seat, supply pipe, shut-off valve, flap valve, flange, and wax seal.

Bid Cost:	X	=	\$800. <sup>00</sup>
Base	Quantity		Total Cost

## Fiberglass Walk-In Shower - Complete

Hall Bathroom

Demo and properly dispose of existing shower and tub. Replace any damaged subfloor or joist.

Install Mustee or equivalent fiberglass shower pan unit equivalent to existing tub size, complete with fiberglass surround, and single lever shower diverter, and water saving shower head. Insulate open exterior wall cavity with R-13. Caulk all seams and penetrations.

Install tempered glass sliding shower doors.

Install blocking for three grab bars at locations determined by rehab specialist and homeowner.

Provide an approved seat manufactured for use in showers.

All materials and work shall comply with the Construction Specifications and the Plumbing Code.

Bid Cost:	X	=	\$4500. <sup>00</sup>
Base	Quantity		Total Cost

# Work Specification

## INTERLOCKING VINYL PLANK FLOORING

Den, Hallway, and 1/2 Bath

Contractor to move and return furniture as required to complete installation. Remove existing carpet, pad, tack strips and metal edge strips and dispose of properly.

Remove and dispose of damaged or unsafe components of the floor assembly.

Scope includes all materials and work necessary to produce a structurally sound, Code compliant floor system. This may include but is not limited to:

- \* replacement of deteriorated band joists
- \* installation of new joists of the proper size and spacing for the spans and loads involved
- \* installation of piers and dropped girders under over spanned existing joists
- \* jacking and shimming as necessary to level floor system
- \* replacement of deteriorated subflooring with Code approved materials
- \* insulation of new or repaired floor system to meet Code requirements.

Install waterproof interlocking vinyl plank flooring. Flooring shall have a minimum 25-year manufacturer's warranty and shall be installed strictly according to manufacturer's specifications.

Contractor is responsible for preparing sub floor as necessary to satisfy manufacturer's installation specifications.

Install suitable matching transition pieces where flooring meets other flooring materials.

Install painted or stained wood quarter-round at all perimeters to complete installation.

Provide homeowner choice of three to five pattern selections from program approved manufacturers.

Bid Cost: \_\_\_\_\_ X \_\_\_\_\_ = \$8,000.<sup>00</sup>  
Base Quantity Total Cost

### Certification

Contractor Name: JASPER ENVIRONMENTAL SERVICES Total Cost: \$43,400.<sup>00</sup>

Signature: [Signature] Date: 12/4/2023

## Scope of Work for Lead Hazard Control

Address 1124 White Plains Rd Date 10/25/2023

All work described must be performed by a North Carolina state certified lead firm and a state lead permit is required. All work must comply with all applicable federal, state, and local regulations. Provide a separate price for each line item and add the total of line items at the end of the scope. Transfer the lead scope total to the lead control line item in the main scope of work.

Lead Hazard (from LIRA)	Method of Control and Scope of Work	Number	Unit Cost	Line Item Cost
Room 3 – Master Bath – Window A1 – beige vinyl mini-blind (lead likely contained within the matrix of the vinyl)	Remove and replace mini blinds (give owner choice of make and color). Complete specialized cleaning throughout room 3.			\$500.00
Room 4 – Bedroom 2 – Window A1 and Window B1 – beige vinyl mini-blinds (lead likely contained within the matrix of the vinyl)	Remove and replace mini blinds (give owner choice of make and color). Complete specialized cleaning throughout room 4.			\$500.00

Total Bid for Lead Scope \$ \$1,000.00



## Scope of Work for Asbestos Hazard Control

Address 1124 White Plains Rd

Date 10/25/2023

All work disturbing asbestos containing materials (ACM) must be performed in compliance with all applicable federal, state, and local regulations. Work in the rehab scope that reasonably can be anticipated to disturb ACM is listed below. The contractor is responsible for identifying all activities that disturb ACM and for the proper removal and disposal of all ACM disturbed while working on this project.

If all disturbed ACM materials will fit into one asbestos waste or glove bag, contractor's workers who are properly trained under OSHA Construction Standard Asbestos Regulations 29 CFR 1926.1101 may remove and dispose of the ACM using safe work practices.

If all disturbed ACM materials will not fit into one asbestos waste or glove bag, or if workers are not properly trained, the contractor shall hire a state certified asbestos abatement firm to remove and dispose of the disturbed ACM materials.

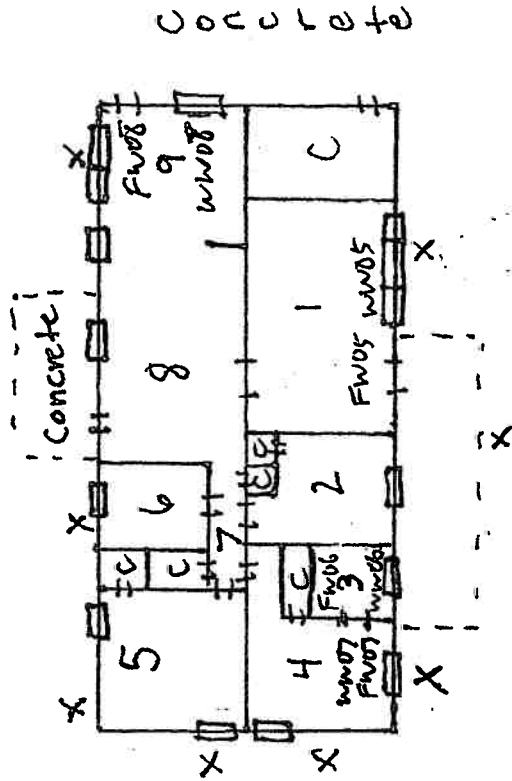
Provide a separate price for each line item and add the total of line items at the end of the scope. Transfer the asbestos scope total to the asbestos control line item in the main scope of work.

Asbestos Hazard (from asbestos report)	Work activities that will or may disturb identified Asbestos Containing Material (ACM)	Line Item Cost
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<p><b>INTERIOR - Beige Joint Compound - approx. 600 square feet of Beige Joint Compound on the wallboard joints, seams, and connection points throughout the house.</b></p>	<p>The contractor is responsible for identifying activities that disturb ACM and for the proper removal and disposal of all ACM disturbed in the course of working on this project. Work that may disturb ACM includes but may not be limited to:</p> <ol style="list-style-type: none"> <li>1. Cutting of wallboard or ceiling for any reason.</li> <li>2. Removal and installation of shower and tubs.</li> <li>3. Adding electrical outlet, lights, or smoke detectors.</li> <li>4. Installing new air returns.</li> <li>5. Paint prep that remove existing paint.</li> </ol> <p>If all disturbed ACM materials will fit into one asbestos waste or glove bag, contractor's workers who are properly trained under OSHA Construction Standards Asbestos Regulations 29 CFR 1926.1101 may remove and dispose of the ACM using safe work practices. If all disturbed ACM materials will not fit into one asbestos waste or glove bag, or if workers are not properly trained, the contractor shall hire a state certified asbestos abatement firm to remove and dispose of the disturbed ACM materials.</p>
	<p><b>\$2500.</b></p>

Total Bid for Asbestos Scope \$ 2500.



**SIDE C**



**SIDE D**

**SIDE B**

**Legend**

-  = Window
-  = Door
- X = Soil Sample Location

**SIDE A**

**NOT TO SCALE**