



BID OPENING CERTIFICATION RECORD

Date of Bid Walk: 2/22/2024 Bid Due Date: 2/29/2024 HNS: 24-13

Public Body Estimate

Address	PBE	PBE -15%	PBE +15%
2216 Sanders Ave	\$40,000	\$34,000	\$46,000

Bid Results

Bidder	Contractor	Amount	Projected Start Date	Projected Finish Date
1.	Jasper Environmental Services	\$43,450	5/13/2024	6/7/2024
2.				
3.				
4.				
5.				

Bids Opened By: Devin Smith

Bids Recorded By: Devin Smith

Witness: _____

Date: 2/29/2024



Company Acknowledgement:

The undersigned, having become thoroughly familiar with the terms, conditions, limitations, and provisions of the housing improvement work to be performed at 2216 Sanders Ave. to be funded through the City of Charlotte Neighborhood & Business Services, in addition, having fully inspected the site in all particulars, hereby proposes and agrees to fully perform the work within the time stated and in strict accordance with the proposed contract documents including furnishing of any and all labor and materials, and to do all work required to complete said Work in accordance with the advised respective contractual, for the sum of money:

All labor, materials, services and equipment necessary for the completion of the Work shown on the Drawings and in the Specifications:

Forty Three thousand, Four hundred and Fifty Dollars (\$43,450)
Written total

Specs Dated: 2.12.2024 Number of Pages: 10 total
(2 page work write-up/ 7 page lead scope/ 1 page floor plan)

Addenda # 1 Dated: Lead Scope 2/29/24 Number of Pages: 8

Addenda # 2 Dated: Number of Pages:

Project Schedule: Minimum Start Date - 5/13/2024

Completion Deadline: 6/7/2024

Please Print and Sign:

Company Name/Firm: Jasper Environmental Services, Inc

Authorized Representative Name: Thaddeus Kuzniar

Signature: [Signature] Date: 2/29/2024

Work Specification

Response Due: 2/12/2024

Prepared By:
City of Charlotte Housing & Neighborhood Services
600 E. Trade Street
Charlotte, NC 28202
(704) 336-7600

Property Details

Address:	2216 Sanders Ave Charlotte, NC 28216	Owner:	George Moreland
Structure Type:	Single Unit	Owner Phone:	[REDACTED]
Square Feet:	897	Program(s):	Tested- HAS LEAD LeadSafe 2019 LeadSafe 2023 Healthy Homes LBP 2023
Year Built:	1941		
Property Value:	61000		
Tax Parcel:	06906513		
Census Tract:			
Property Zone:			

Additional Comments

Contractor is responsible for all County permits and inspections per the City of Charlotte requirements.

Repairs

Description

Floor · Room

Exterior

Lead Based Paint Scope

See attached scope. An allowance to complete the scope of work attached.

Bid Cost: _____ X _____ = 39,500
Base Quantity Total Cost

Exterior Handrails

Front porch

Remove existing handrails. Dispose of properly. Install handrails to current building code - specified treated lumber. Size & dimensions to code. Stain with 2 coats of Cabot Deck Correct stain or equivalent.

Bid Cost: _____ X _____ = 750
Base Quantity Total Cost

Exterior Steps Replace

Rear porch

Replace existing wood steps, stringers, post, and handrails to Code. New treads shall be two 2" x 6" spaced 1/2" apart and have 2" 12" stringers. Wooden porch and stair handrails should include pickets; install to Code. Entire stair system should be constructed using pressure-treated lumber. Stain with 2 coats of Cabot Deck Correct stain or equivalent.

Bid Cost: _____ X _____ = 3200
Base Quantity Total Cost

Work Specification

Certification

Contractor Name: Jasper Environmental Services, Inc

Total Cost: 43,450 -

Signature: 

Date: 2/29/2024

Scope of Work for Lead Hazard Control

Address: 2216 Sanders Ave

Date: 2/22/2024

All work described must be performed by a North Carolina state certified lead firm and a state lead permit is required. All work must comply with all applicable federal, state, and local regulations. Provide a separate price for each line item and add the total of line items at the end of the scope. Transfer the lead scope total to the lead control line item in the main scope of work.

Lead Hazard (from LIRA)	Method of Control and Scope of Work	Number	Unit Cost	Line Item Cost
EXTERIOR -				
Side A through Side D - Black wood fascia, soffits, crown moldings, trim boards, and attic air vents and frames	Remove and properly dispose of all attic vents, gutters, downspouts, and crown molding. Install new white K- type .027 gauge seamless aluminum gutter to service roof with sufficient pitch to new downspouts, install to construction manual specifications. Install 4" corrugated black pipe with the proper connectors to each downspout. Pipe length shall be long enough to ensure roof runoff will flow away from the foundation. Replace all rotted or damaged wood and patch holes. Replace attic vents with a vinyl product; frame as required for proper installation. Cover fascia, soffits, trim boards, and frames with Tyvek and aluminum or vinyl.			\$7000

<p>Side A through Side D - Black wood window casings, headers, sills, sashes, and wells</p>	<p>Remove and properly dispose of existing wood window sashes and screens. Replace any rotted or damaged components and patch holes. Install new Energy Star rated vinyl, double glazed LOW- E window sashes. Install new custom sized white storm window screens. Cover window casings, headers, wells and sills with Tyvek and aluminum.</p>	<p>12</p>	<p>800</p>	<p>9600</p>
<p>Side A and Side B (outside of Room 1) - Black wood ceiling support columns and trim</p>	<p>Replace any rotted or damaged wood and patch holes. Scrape loose paint and re-paint with exterior grade semigloss paint, owner's choice of color.</p>			<p>800</p>
<p>Side B - Partially exposed white and light brown wood siding around telephone box and electrical box</p>	<p>Replace any rotted or damaged wood or siding and patch holes. Cover with Cement board siding, match existing.</p>			<p>800</p>
<p>Side A through Side D - Paint chips along the drip line and elevated lead soil levels</p>	<p>Side A through Side D - Remove Drip line soil approximately 4" deep and 3 feet out from the foundation. Soil lead levels shall be below 200 ppm. Cover drip line area with Landscape fabric secured with landscape spikes. Cover with mulch.</p>			<p>5500</p>

<p>Asbestos – Light Brown Cement Board Siding. Approximately 1,250 square feet of Light Brown Cement Board Siding on the exterior of the house walls as well as the entry/ screen porch walls.</p>	<p>The contractor is responsible for identifying activities that disturb ACM and for the proper removal and disposal of all ACM disturbed in the course of working on this project. Work that may disturb ACM includes but may not be limited to:</p> <ol style="list-style-type: none"> 1. Cutting of wallboard or ceiling for any reason. 2. Paint prep that remove existing paint. 3. Installing pre-hung doors <p>If all disturbed ACM materials will fit into one asbestos waste or glove bag, contractor's workers who are properly trained under OSHA Construction Standards Asbestos Regulations 29 CFR 1926.1101 may remove and dispose of the ACM using safe work practices. If all disturbed ACM materials will not fit into one asbestos waste or glove bag, or if workers are not properly trained, the contractor shall hire a state certified asbestos abatement firm to remove and dispose of the disturbed ACM materials.</p>			<p>2500</p>
<p>INTERIOR:</p>				

<p>Room 1 - Side A through Side D and Ceiling - Light brown and black wood ceiling, crown moldings, ceiling support beams, trim boards, 2"x 4" screen frame boards and ceiling support columns and trim</p>	<p>Remove and properly dispose of existing crown molding, screens, and lattice; replace screens and lattice with new. Paint lattice with exterior grade semigloss paint, owner's choice of color. Scrape loose paint and re-paint screen frame boards and ceiling support columns with exterior grade semigloss paint, owner's choice of color. Cover ceiling, ceiling support beams, and trim with Tyvek and aluminum or vinyl. Reinstall mailbox and house numbers.</p>			<p>3800</p>
<p>Room 1 - Door D1 - White wood door casing and header</p>	<p>Remove and reinstall doors as required to complete work. Replace any rotted or damaged wood. Replace door casing with new and paint to match existing. Scrape and repaint header.</p>			<p>800</p>
<p>Room 7 - Window C1 - White wood window casing, header, apron, sill, sashes, and well</p>	<p>Scrape loose paint on casings, header, apron, sill, and well. Re-paint with primer and topcoat.</p>			<p>400</p>
<p>Room 7 - Window D1 - White wood window casing, header, sashes, and well</p>	<p>Scrape loose paint on casings, header, and well. Re-paint with primer and topcoat.</p>			<p>400</p>

<p>Room 7 - Side C - White wood cabinet frames and doors (left of Window C1)</p>	<p>Remove and properly dispose of entire assembly. Replace any rotted or damaged wood. Correct framing as necessary to provide a flat surface and to properly support new drywall. Install insulation as required by NC Code. Use screws to install new drywall. Apply tape and 3 coats of joint compound to achieve a professional finish. Wet sand ready for paint. Install baseboards and trim to match existing. Materials and work shall comply with the Construction Specifications. Prime all materials with a stain killing primer. The contractor is responsible for choosing products and processes that insure a durable finished product. Top coat with two coats of low VOC acrylic latex semi-gloss paint.</p>			<p>800</p>
<p>Room 7 - Door B1 - White wood door casings and header</p>	<p>Remove security door and save to re-install. Remove entire existing door assembly and dispose of properly. Install new Energy Star rated pre-hung metal exterior door and threshold. Owner's choice of door style and color. Insulate cavity. Install single cylinder dead bolt and lever handled entry set door hardware keyed alike. New casing and shoe molding will match existing. Apply primer and topcoat. This installation to include repairing any damaged header, door framing, to include wall framing, sub-floor, floor joists and sill (inspect and price repairs of visible damage via crawl space during bid walk). Re-install the security door.</p>			<p>1800</p>

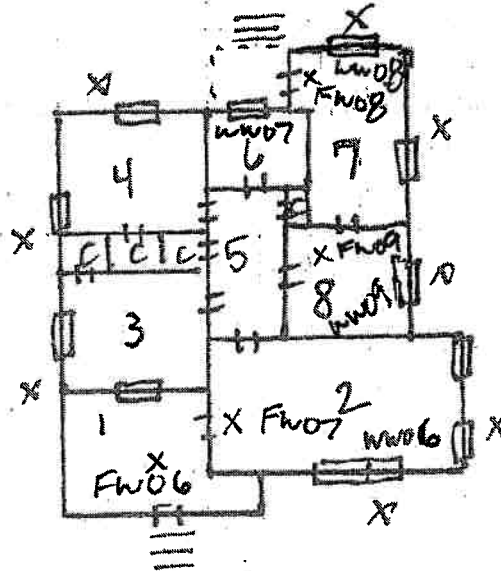
Room 7 – Side B (adjacent to Door B1) – Light brown wood shelves, shelf supports and shelf frame and interior	Remove and properly dispose of existing. Replace with new, apply primer and topcoat if not painted.			1800
Throughout – Elevated lead dust levels	Complete specialized cleaning throughout the house.			1500

<p>All Contractors Requirements</p>	<p>The contractor is responsible for all project requirements, including but not limited to:</p> <p>All activities required by the City's COVID-19 Precautions for Residential Housing Rehabilitation Activities policy.</p> <p>Obtaining all permits required. Said permits shall include all items in this scope of work.</p> <p>Provide temporary toilet facilities from job start until the completion of work.</p> <p>Provide AS MANY roll-off dumpsters as needed without damaging the site. Collect construction debris using dust control methods. Remove dumpsters and repair any evidence of the dumpster use.</p> <p>Contractor may haul debris away daily using dump trailers or trucks.</p>			<p>2000</p>
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Total Bid for Lead Scope \$ 39,500

SIDE C

SIDE B



SIDE D

Legend

- = Window
- = Door
- X = Soil Sample Location

SIDE A

NOT TO SCALE