



## Invitation to Bid      HNS 24-8

**NOTE: Contractors are not authorized to visit the property before or after the bid walk, without being accompanied by the City's Rehabilitation Specialist.**

**Documents included in Package:**

- 1) Instruction to Bidders
- 2) Specs by Location/Trade (Scope of Work)
- 3) Subcontractor Certifications (if applicable)
- 4) Floor Plan / Site Drawing (if applicable)

**Bid Walk & Bid Opening:**

Project Address: <b>2211 Ashley Rd - Lead and Healthy Homes</b>	
Bid Walk: August 17, 2023 @ 9AM	
Bid Opening: August 24, 2023 @ 2PM	
Client Name: Vanessa Miller	Contact Number:
Project Manager: Devin Smith	Contact Number: 704-336-2512

**Bid Walk and Bidding Instructions:**

*All bid walks are mandatory.*

*If you are going to be late the policy is the following:*

Contact me BEFORE the start time if you are going to be late. If you are going to be more than 10 minutes late, we will proceed without you and you will not be permitted to bid.

The day of a bid walk the best way to reach me is at 704-589-2130

*Bids must be received by the date, time and place specified. All others will be considered non responsive and disqualified.*

**The Bids will be opened at 600 East Trade St. immediately following the above due date and time.**



**Company Acknowledgement:**

The undersigned, having become thoroughly familiar with the terms, conditions, limitations, and provisions of the housing improvement work to be performed at 2211 Ashley Rd. to be funded through the City of Charlotte Neighborhood & Business Services, in addition, having fully inspected the site in all particulars, hereby proposes and agrees to fully perform the work within the time stated and in strict accordance with the proposed contract documents including furnishing of any and all labor and materials, and to do all work required to complete said Work in accordance with the advised respective contractual, for the sum of money:

**All labor, materials, services and equipment necessary for the completion of the Work shown on the Drawings and in the Specifications:**

Dollars (\$ \_\_\_\_\_ )

*Written total*

Specs Dated: 7.14.2023                      Number of Pages: 7 total  
(3 page work write-up/3 page lead scope/ 1 page floor plan)

Addenda # 1 Dated:                      Number of Pages:

Addenda # 2 Dated:                      Number of Pages:

**Project Schedule:** *Minimum Start Date -*

**Completion Deadline:**

***Please Print and Sign:***

Company Name/Firm:

Authorized Representative Name:

Signature:

Date:



## **Requirements For Bidders**

The City awards rehabilitation bids to the lowest responsive and responsible bidder. A responsible bidder for the safe home program is one who:

- 1) Is a licensed general contractor in the State of North Carolina;
- 2) Has an Renovate, Repair & Paint Certification (<http://www2.epa.gov/lead/renovation-repair-and-painting-program>);
- 3) Is not listed on a local, state or federal debarment list;
- 4) Carries an appropriate amounts of insurance;
- 5) Can provide references verifying the contractor has completed work of a similar scope in a good workmanship like manner or successfully completed prior work for the Safe Home program. Referenced work must have been completed in one year or less from date of this invitation to bid.

A responsive bidder must:

- 1) Submit all requested documentation on time;
- 2) Meet the above requirements for responsibility at the time of bid submittal;
- 3) Have the capacity to meet the required schedule for the project.
- 4) Existing rehab projects contracted by the contractor must be on schedule.

The City reserves the right to waive any minor informalities or irregularities, which do not go to the heart of the bid submittal or prejudice other offers, or to reject, for good and compelling reasons, any or all bid submittals.

Devin Smith  
Rehabilitation Specialist  
City of Charlotte  
Neighborhood and Business Services  
600 E. Trade St.  
Charlotte, NC 28202  
PH: (704) 336-2512  
Fax: (704) 589-2130



## **Instructions to Bidders**

### **Explanations to Bidders**

Any explanation desired by a Contractor regarding the meaning or interpretation of the advertisement for bids, drawings, specifications, etc., must be requested in writing to the Rehabilitation Specialist with sufficient time allowed for a reply to each Contractor before the submission of their bids. Any interpretation made will be in the form of an addendum to the invitation for bids, drawings, specifications, etc., and will be furnished to all prospective Contractors. The Contractor must acknowledge any revision to the bid documents in the space provided on the bid form and it must be submitted with their bid package.

### **Preparation of Bids**

Bids shall be submitted on the forms furnished, or copies thereof, and must be manually signed. If erasures or other changes appear on the forms, the person signing the bids must initial each erasure or change

- The Contractor's Bid Proposal must be properly executed and submitted on the form provided. Bids by Contractors must be received by the Rehabilitation Specialist at the time and place specified on the "Invitation to Bid"
- No bid will be considered unless all individual work items on the Bid Form including any addendums are priced. The sum of all work items must equal to the Total Bid Amount.
- Unless called for, alternate bids will not be considered
- Modification of bids already submitted will be considered if received at the office designated in the invitation for bids by the time set for opening of bids

### **Submittal of Bids**

- Sealed bids will be submitted to the Safe Home Program Office as directed in the invitation to bid prior to or at the appointed bid opening time
- Bid will be time stamped on the date of delivery
- Each bid must be submitted in a sealed envelope bearing on the outside the name of the Contractor, the name of the project for which the bid is submitted, and the date and time of the bid opening
- All bids submitted must be typed or written in ink and signed by the Contractor's designated representative
- Failure to include all forms may result in rejection of a bid



- Required Bid Package Forms:
  - Scope of Work
  - Addenda Acknowledgement
  - Itemized Work Sheet
  - Subcontractor Certifications (if applicable)

**Bid Validation**

- All approved bids will be valid for 60 days after the bid opening date

NEIGHBORHOOD & BUSINESS  
SERVICES

<http://housing.charlottenc.gov> | 600 E. Trade Street | Charlotte, NC

# Work Specification

Response Due: 7/14/2023

Prepared By:  
**City of Charlotte Housing & Neighborhood Services**  
600 E. Trade Street  
Charlotte, NC 28202  
(704) 336-7600

## Property Details

Address:	2211 Ashley Rd Charlotte, NC 28208	Owner:	Vanessa Miller
Structure Type:	Single Unit	Owner Phone:	[REDACTED]
Square Feet:	1166	Program(s):	Tested- HAS LEAD LeadSafe 2019 Healthy Homes LBP 2019
Year Built:	1951		
Property Value:	207400		
Tax Parcel:	06712702		
Census Tract:			
Property Zone:			

## Additional Comments

Contractor is responsible for all County permits and inspections per the City of Charlotte requirements.

## Repairs

<u>Description</u>	<u>Floor</u>	<u>Room</u>	<u>Exterior</u>
--------------------	--------------	-------------	-----------------

### See Attached Lead Scope

All work shall be performed in accordance with applicable regulations and shall meet all applicable building codes. Building permits will be obtained as appropriate. Mecklenburg County requires building permits for Lead Hazard Reduction if the work involves activities subject to permitting under general conducts.

Bid Cost:	_____	X	_____	=	_____
	Base		Quantity		Total Cost

### Repair leaking roof

Exterior

Inspect and repair any damaged and leaking shingles, roof decking, or flashing. Reinforce any loose nails around entire roof. Remove and properly dispose of existing pipe boots and box vent. Provide and install new pipe boots and box vent.

Bid Cost:	_____	X	_____	=	_____
	Base		Quantity		Total Cost

# Work Specification

## EXTERIOR DOOR HARDWARE

## Front and Rear Doors

Replace entry hardware with lever handle entry set and single keyed deadbolt. Ensure deadbolt and strike plate align properly; mortise cut modification to door jamb as required.

NOTE: Double keyed deadbolts are not permitted.

All new locksets shall be keyed alike.

Deadbolt keepers shall be installed with long screws that attach securely to framing.

The finish of new hardware shall match existing hardware unless homeowner selects otherwise.

---

$$\text{Bid Cost: } \frac{\quad}{\text{Base}} \times \frac{\quad}{\text{Quantity}} = \frac{\quad}{\text{Total Cost}}$$

---

## Replace Floor Furnace Grille Cover

## Hallway

Remove and properly dispose of existing abandoned floor furnace vent cover. Install new appropriately sized heavy duty floor furnace grille cover capable of withstanding repeated foot traffic.

---

$$\text{Bid Cost: } \frac{\quad}{\text{Base}} \times \frac{\quad}{\text{Quantity}} = \frac{\quad}{\text{Total Cost}}$$

---

# Work Specification

## FLOOR SYSTEM REPAIR

Kitchen

Floor System Repair

Remove all fixtures and furnishings not built in.

Remove and dispose of damaged or unsafe components of the floor assembly.

Scope includes all materials and work necessary to produce a structurally sound, Code compliant floor system. This may include but is not limited to:

- \* replacement of deteriorated band joists
- \* installation of new joists of the proper size and spacing for the spans and loads involved
- \* installation of piers and dropped girders under over spanned existing joists
- \* jacking and shimming as necessary to level floor system
- \* replacement of deteriorated subflooring with Code approved materials
- \* insulation of new or repaired floor system to meet Code requirements.

Install waterproof interlocking vinyl plank flooring. Flooring shall have a minimum 25 year manufacturer's warranty and shall be installed strictly according to manufacturer's specifications.

Contractor is responsible for preparing sub floor as necessary to satisfy manufacturer's installation specifications. This includes leveling the floor system and installing underlayment as necessary to meet the manufacturer's specifications and requirements for warranty.

Install suitable matching transition pieces where flooring meets other flooring materials.

Install painted or stained wood quarter-round at all perimeters to complete installation.

Provide homeowner choice of three to five pattern selections from program approved manufacturers.

Bid Cost: \_\_\_\_\_ X \_\_\_\_\_ = \_\_\_\_\_  
Base Quantity Total Cost

### Certification

Contractor Name: \_\_\_\_\_

Total Cost: \_\_\_\_\_

Signature: \_\_\_\_\_

Date: \_\_\_\_\_



## Scope of Work for Lead Hazard Control

Address: 2211 Ashley Rd.

Date 7/14/2023

All work described must be performed by a North Carolina state certified lead firm and a state lead permit is required. All work must comply with all applicable federal, state, and local regulations. Provide a separate price for each line item and add the total of line items at the end of the scope. Transfer the lead scope total to the lead control line item in the main scope of work.

Lead Hazard (from LIRA)	Method of Control and Scope of Work	Number	Unit Cost	Line Item Cost
Side A through Side D – white metal door and window lintels	Cover with Tyvek and aluminum			
Window set C5 – white wood window frame/sash on the middle, non-moveable window	Remove and properly dispose of middle fixed sash. Install new energy efficient vinyl sash. Cover exterior wood components with Tyvek and aluminum.			
Door A1 (to Room 1) – white wood door jambs, stops and threshold.	Make smooth and operable. Scrape loose paint and re-paint.			
Interior Room 9 – Side A through Side D and Ceiling – white wood ceiling, crown moldings and trim boards.	Confirm roof leaks have been repaired. Replace all rotted or damaged wood. Remove and properly dispose of crown molding. Cover with Tyvek and aluminum or vinyl.			

<p><b>Interior Room 9 – Door B1 (former exterior door) – white wood door, casings, header, jambs and stops</b></p>	<p><b>Remove entire existing door assembly and dispose of properly. Install new Energy Star rated pre-hung metal exterior door. Owner’s choice of door style and color. Insulate cavity. Install lever handled entry set door hardware keyed alike. New casing and shoe molding will match existing. Apply primer and topcoat. This installation to include repairing any damaged header, door framing, to include wall framing, sub-floor, floor joists and sill.</b></p>			
<p><b>Interior Room 1 - Elevated lead levels</b></p>	<p><b>Complete specialized cleaning throughout room 1.</b></p>			

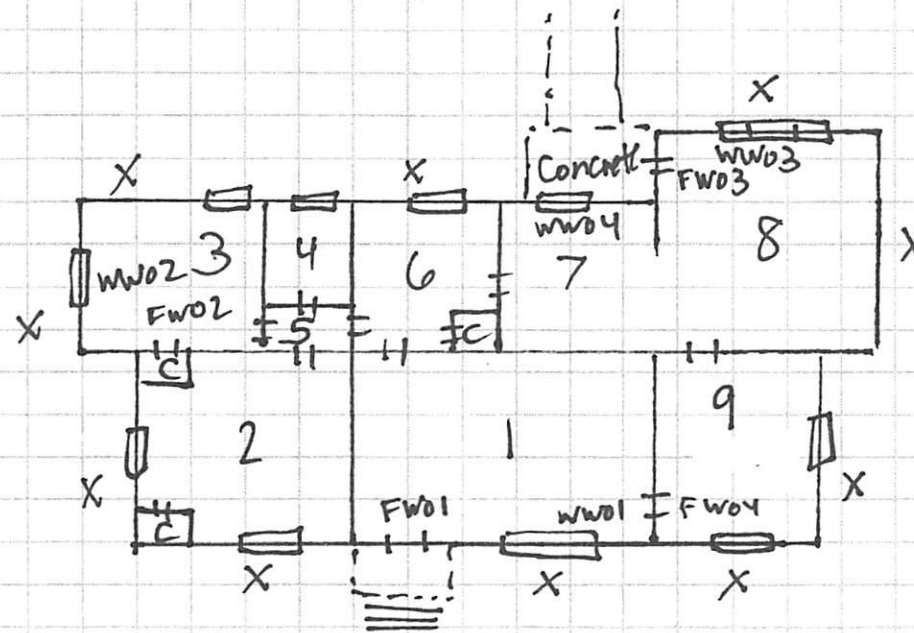
<p><b>All contractor requirements</b></p>	<p><b>The contractor is responsible for all project requirements, including but not limited to:</b></p> <p><b>All activities required by the City’s COVID-19 Precautions for Residential Housing Rehabilitation Activities policy.</b></p> <p><b>Obtaining all permits required. Said permits shall include all items in this scope of work.</b></p> <p><b>Provide temporary toilet facilities from job start until the completion of work.</b></p> <p><b>Provide AS MANY roll-off dumpsters as needed without damaging the site. Collect construction debris using dust control methods. Remove dumpsters and repair any evidence of the dumpster use.</b></p> <p><b>Contractor may haul debris away daily using dump trailers or trucks.</b></p>			
---	--	--	--	--

**Total Bid for Lead Scope \$**




**SIDE C**

**SIDE B**

**SIDE D**



**Legend**

-  = Window
-  = Door
-  = Soil Sample Location

**SIDE A**

**NOT TO SCALE**