



Invitation to Bid HNS 24-16

NOTE: Contractors are not authorized to visit the property before or after the bid walk, without being accompanied by the City's Rehabilitation Specialist.

Documents included in Package:

- 1) Instruction to Bidders
- 2) Specs by Location/Trade (Scope of Work)
- 3) Subcontractor Certifications (if applicable)
- 4) Floor Plan / Site Drawing (if applicable)

Bid Walk & Bid Opening:

Project Address: 1124 White Plains Rd - Safe Homes	
Bid Walk: November 9, 2023 @ 11:00AM	
Bid Opening: November 16, 2023 @ 2PM	
Client Name: Sharon McIlwain	Contact Number:
Project Manager: Devin Smith	Contact Number: 704-336-2512

Bid Walk and Bidding Instructions:

All bid walks are mandatory.

If you are going to be late the policy is the following:

Contact me BEFORE the start time if you are going to be late. If you are going to be more than 10 minutes late, we will proceed without you and you will not be permitted to bid.

The day of a bid walk the best way to reach me is at 704-589-2130

Bids must be received by the date, time and place specified. All others will be considered non responsive and disqualified.

The Bids will be opened at 600 East Trade St. immediately following the above due date and time.



Company Acknowledgement:

The undersigned, having become thoroughly familiar with the terms, conditions, limitations, and provisions of the housing improvement work to be performed at **1124 White Plains Rd** to be funded through the City of Charlotte Neighborhood & Business Services, in addition, having fully inspected the site in all particulars, hereby proposes and agrees to fully perform the work within the time stated and in strict accordance with the proposed contract documents including furnishing of any and all labor and materials, and to do all work required to complete said Work in accordance with the advised respective contractual, for the sum of money:

All labor, materials, services and equipment necessary for the completion of the Work shown on the Drawings and in the Specifications:

Dollars (\$ _____)

Written total

Specs Dated: 10.25.2023 Number of Pages: 10 total
(6 page work write-up/ 1 page lead scope/ 2 page asbestos scope/ 1 page floor plan)

Addenda # 1 Dated: Number of Pages:

Addenda # 2 Dated: Number of Pages:

Project Schedule: *Minimum Start Date -*

Completion Deadline:

Please Print and Sign:

Company Name/Firm:

Authorized Representative Name:

Signature:

Date:



Requirements For Bidders

The City awards rehabilitation bids to the lowest responsive and responsible bidder. A responsible bidder for the safe home program is one who:

- 1) Is a licensed general contractor in the State of North Carolina;
- 2) Has an Renovate, Repair & Paint Certification (<http://www2.epa.gov/lead/renovation-repair-and-painting-program>);
- 3) Is not listed on a local, state or federal debarment list;
- 4) Carries an appropriate amounts of insurance;
- 5) Can provide references verifying the contractor has completed work of a similar scope in a good workmanship like manner or successfully completed prior work for the Safe Home program. Referenced work must have been completed in one year or less from date of this invitation to bid.

A responsive bidder must:

- 1) Submit all requested documentation on time;
- 2) Meet the above requirements for responsibility at the time of bid submittal;
- 3) Have the capacity to meet the required schedule for the project.
- 4) Existing rehab projects contracted by the contractor must be on schedule.

The City reserves the right to waive any minor informalities or irregularities, which do not go to the heart of the bid submittal or prejudice other offers, or to reject, for good and compelling reasons, any or all bid submittals.

Devin Smith
Rehabilitation Specialist
City of Charlotte
Neighborhood and Business Services
600 E. Trade St.
Charlotte, NC 28202
PH: (704) 336-2512
Cell: (704) 589-2130



Instructions to Bidders

Explanations to Bidders

Any explanation desired by a Contractor regarding the meaning or interpretation of the advertisement for bids, drawings, specifications, etc., must be requested in writing to the Rehabilitation Specialist with sufficient time allowed for a reply to each Contractor before the submission of their bids. Any interpretation made will be in the form of an addendum to the invitation for bids, drawings, specifications, etc., and will be furnished to all prospective Contractors. The Contractor must acknowledge any revision to the bid documents in the space provided on the bid form and it must be submitted with their bid package.

Preparation of Bids

Bids shall be submitted on the forms furnished, or copies thereof, and must be manually signed. If erasures or other changes appear on the forms, the person signing the bids must initial each erasure or change

- The Contractor's Bid Proposal must be properly executed and submitted on the form provided. Bids by Contractors must be received by the Rehabilitation Specialist at the time and place specified on the "Invitation to Bid"
- No bid will be considered unless all individual work items on the Bid Form including any addendums are priced. The sum of all work items must equal to the Total Bid Amount.
- Unless called for, alternate bids will not be considered
- Modification of bids already submitted will be considered if received at the office designated in the invitation for bids by the time set for opening of bids

Submittal of Bids

- Sealed bids will be submitted to the Safe Home Program Office as directed in the invitation to bid prior to or at the appointed bid opening time
- Bid will be time stamped on the date of delivery
- Each bid must be submitted in a sealed envelope bearing on the outside the name of the Contractor, the name of the project for which the bid is submitted, and the date and time of the bid opening
- All bids submitted must be typed or written in ink and signed by the Contractor's designated representative
- Failure to include all forms may result in rejection of a bid



SAFE HOME
CITY OF CHARLOTTE
NEIGHBORHOOD & BUSINESS SERVICES

- Required Bid Package Forms:
 - Scope of Work
 - Addenda Acknowledgement
 - Itemized Work Sheet
 - Subcontractor Certifications (if applicable)

Bid Validation

- All approved bids will be valid for 60 days after the bid opening date

NEIGHBORHOOD & BUSINESS
SERVICES

<http://housing.charlottenc.gov> | 600 E. Trade Street | Charlotte, NC

Work Specification

Response Due: 10/25/2023

Prepared By:
City of Charlotte Housing & Neighborhood Services
600 E. Trade Street
Charlotte, NC 28202
(704) 336-7600

Property Details

Address:	1124 White Plain Rd Charlotte, NC 28213	Owner:	Sharon McIlwain
		Owner Phone:	
Structure Type:	Single Unit	Program(s):	Healthy Homes
Square Feet:	1300		Tested- NO LEAD
Year Built:	1965		SHFY2020
Property Value:	69900		CDBG
Tax Parcel:	08906317		SIP (Hidden Valley)
Census Tract:			
Property Zone:	Council District 4		

Additional Comments

Contractors are required to permit all work and include County inspections per the City of Charlotte requirements.

Repairs

<u>Description</u>	<u>Floor</u>	<u>Room</u>	<u>Exterior</u>
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All Contractor's Project Requirements

The contractor is responsible for project requirements, including but limited to:

Obtaining all permits required. Said permits shall include all items in this scope of work.

Provide temporary toilet facilities from job start until the completion of work.

Provide AS MANY roll-off dumpsters as needed without damaging the site. Collect construction debris using dust control methods. Remove dumpster and repair any evidence of the dumpsters use. Contractor may haul debris away daily using dump trailers.

Bid Cost:	_____	X	_____	=	_____
	Base		Quantity		Total Cost

Work Specification

See Attached Lead Scope

Rooms 3 & 4

All work shall be performed in accordance with applicable regulations and shall meet all applicable building codes. Building permits will be obtained as appropriate. Mecklenburg County requires building permits for Lead Hazard Reduction if the work involves activities subject to permitting under general conducts.

$$\text{Bid Cost: } \frac{\text{Base}}{\text{Quantity}} \times \text{Quantity} = \text{Total Cost}$$

Asbestos Abatement Scope

See attached scope. An allowance to complete the scope of work attached.

$$\text{Bid Cost: } \frac{\text{Base}}{\text{Quantity}} \times \text{Quantity} = \text{Total Cost}$$

Exterminate Termites

Exterminate for termites. Drill and patch foundation and pavement where necessary. Exterminator must be licensed and provide a 1 year guarantee with an optional yearly renewable warranty for the homeowner.

$$\text{Bid Cost: } \frac{\text{Base}}{\text{Quantity}} \times \text{Quantity} = \text{Total Cost}$$

Exterminate Insects

Exterminate for insects. Include a one year warranty. All extermination shall be performed by a licensed contractor.

$$\text{Bid Cost: } \frac{\text{Base}}{\text{Quantity}} \times \text{Quantity} = \text{Total Cost}$$

Vapor Barrier

Crawlspace

Clean out crawl space; remove and properly dispose of all trash and debris. Lay 6 mil poly vapor barrier on ground in crawl space and 6" up foundation walls. Overlap seams by 2' and secure with duct tape.

$$\text{Bid Cost: } \frac{\text{Base}}{\text{Quantity}} \times \text{Quantity} = \text{Total Cost}$$

Trim, Soffit, Fascia, Barge Board, and Eaves Boxing Repairs

Exterior

Replace all rotted, damaged, and deteriorated wood areas around the exterior of the house. Caulk, prep, and paint. Install sidewall flashing where required. Match existing materials, trims, and color.

$$\text{Bid Cost: } \frac{\text{Base}}{\text{Quantity}} \times \text{Quantity} = \text{Total Cost}$$

Masonry Patch & Repoint

Front and Side Porch

Install bricks where missing and re-set loose bricks. Cut out mortar at least 1/2". Remove all loose material with clear water. Saturate joints with water and repoint in 1/2" lifts using Portland cement mortar. Reinstall any flashings, tool concave joints and clean brick face. Front, side steps and rowlock.

$$\text{Bid Cost: } \frac{\text{Base}}{\text{Quantity}} \times \text{Quantity} = \text{Total Cost}$$

Work Specification

Concrete Patio with Brick Foundation

Rear Patio

Exterior

Remove carpet and debris from slab. Pressure wash the entire Slab. All construction of patio shall be up to current Building Code.

* Rear Patio.

Point up corners of slab with brick and mortar.

Remove and properly dispose of old deteriorated Ramp.

Point up steps to code requirements.

Install new handrails on both side of brick steps and around patio to current building code - specified wrought iron railing or pressure treated wood. Size & dimensions to code.

Bid Cost: $\frac{\text{Base}}{\text{Quantity}} \times \text{Quantity} = \text{Total Cost}$

Vinyl Window

Dispose of window units and any security bars. Field measure, order and install new Energy Star rated vinyl, double glazed LOW- E windows including half screens. Insulate rough opening. Install new extension jambs, casing and sill as needed, prime and paint. Exterior trim to be wrapped in PVC coated aluminum coil as needed. Repair all areas disturbed by removal and installation. This installation is to include repairing any damaged header, framing (to include king studs, jack studs etc.) sub-floor, floor joists, band joists and sill. Any windows replaced in a bathroom must have tempered glass.

* Replace windows - Side B, C, & D Only- Not Front Windows.

Bid Cost: $\frac{\text{Base}}{\text{Quantity}} \times \text{Quantity} = \text{Total Cost}$

Prehung Metal Door Entrance

Front, Side, and Rear Entry

Remove entire existing door assembly and storm door; dispose of properly. Install new Energy Star rated pre-hung metal exterior door (Owner's choice of style, color, and hardware finish). Insulate cavity. Install single cylinder dead bolt and lever handled entry set door hardware keyed alike. New casing and shoe molding will match existing. Apply primer and topcoat. This installation to include repairing any damaged header, door framing, to include wall framing, sub-floor, floor joists and sill. Install an aluminum combination storm and screen door.

Bid Cost: $\frac{\text{Base}}{\text{Quantity}} \times \text{Quantity} = \text{Total Cost}$

Dryer Vent

Hall Bathroom

Install 4" rigid aluminum vent tubing from the specified dryer location to a 4" wall mounted dryer vent hood with a back flow preventer and NO screening. Connect dryer duct to dryer. Fasteners shall not protrude into the interior of the exhaust duct. Seal all seams in the system with duct mastic or aluminum foil tape, not duct tape. Secure duct and hood to framing.

Bid Cost: $\frac{\text{Base}}{\text{Quantity}} \times \text{Quantity} = \text{Total Cost}$

Whole House Fan Removal

Hallway

Remove existing whole house fan in hall area including properly terminating power in junction box with blank cover. Frame in ceiling, drywall and finish to paint ready.

Bid Cost: $\frac{\text{Base}}{\text{Quantity}} \times \text{Quantity} = \text{Total Cost}$

Work Specification

Attic Insulation Increase to R-38

Attic

Increase attic insulation to R-38, contractor to attach verification to rafter at attic access, easily seen. Include ventilation baffles to code.

Bid Cost: $\frac{\text{Base}}{\text{Quantity}} \times = \text{Total Cost}$

SMOKE AND CARBON MONOXIDE DETECTORS

Install UL approved ceiling mounted smoke and heat detectors permanently hard wired into outlet boxes with battery backups in all bedrooms and outside of all sleeping areas.

Detector in the hall way shall be a combination CO/smoke detector.

All detectors shall be interconnected so that when any one detector goes off, all other detectors also go off.

Installation shall comply with all requirements of the Electrical Code.

Bid Cost: $\frac{\text{Base}}{\text{Quantity}} \times = \text{Total Cost}$

WET LOCATION OUTLETS PER CODE

Upgrade all existing outlets and install additional outlets as necessary to meet all requirements of the current Electrical Code for wet location outlets (kitchen and bathroom).

All outlets shall be flush mounted ground fault circuit interrupted duplex receptacles with cover plates.

Fish wire as necessary and repair all damage to finished surfaces caused by installation.

Bid Cost: $\frac{\text{Base}}{\text{Quantity}} \times = \text{Total Cost}$

17" Height Commode Replace

1/2 Bathroom

Install a 17" height, 2 piece, close coupled, white, vitreous china commode with a maximum water usage per flush of 1.6 gallons. Include plastic or pressed wood white seat, supply pipe, shut-off valve, flap valve, flange, and wax seal.

Bid Cost: $\frac{\text{Base}}{\text{Quantity}} \times = \text{Total Cost}$

Work Specification

Fiberglass Walk-In Shower - Complete

Hall Bathroom

Demo and properly dispose of existing shower and tub. Replace any damaged subfloor or joist.

Install Mustee or equivalent fiberglass shower pan unit equivalent to existing tub size, complete with fiberglass surround, and single lever shower diverter, and water saving shower head. Insulate open exterior wall cavity with R-13. Caulk all seams and penetrations.

Install tempered glass sliding shower doors.

Install blocking for three grab bars at locations determined by rehab specialist and homeowner.

Provide an approved seat manufactured for use in showers.

All materials and work shall comply with the Construction Specifications and the Plumbing Code.

Bid Cost:	_____	X	_____	=	_____
	Base		Quantity		Total Cost

INTERLOCKING VINYL PLANK FLOORING

1/2 Bathroom, Den, Hallway, Master Bedroom,

Contractor to move and return furniture as required to complete installation. Remove existing carpet, pad, tack strips and metal edge strips and dispose of properly.

Remove and dispose of damaged or unsafe components of the floor assembly.

Scope includes all materials and work necessary to produce a structurally sound, Code compliant floor system. This may include but is not limited to:

- * replacement of deteriorated band joists
- * installation of new joists of the proper size and spacing for the spans and loads involved
- * installation of piers and dropped girders under over spanned existing joists
- * jacking and shimming as necessary to level floor system
- * replacement of deteriorated subflooring with Code approved materials
- * insulation of new or repaired floor system to meet Code requirements.

Install waterproof interlocking vinyl plank flooring. Flooring shall have a minimum 25-year manufacturer's warranty and shall be installed strictly according to manufacturer's specifications.

Contractor is responsible for preparing sub floor as necessary to satisfy manufacturer's installation specifications.

Install suitable matching transition pieces where flooring meets other flooring materials.

Install painted or stained wood quarter-round at all perimeters to complete installation.

Provide homeowner choice of three to five pattern selections from program approved manufacturers.

Bid Cost:	_____	X	_____	=	_____
	Base		Quantity		Total Cost

Work Specification

Certification

Contractor Name: _____

Total Cost: _____

Signature: _____

Date: _____

Scope of Work for Lead Hazard Control

Address 1124 White Plains Rd

Date 10/25/2023

All work described must be performed by a North Carolina state certified lead firm and a state lead permit is required. All work must comply with all applicable federal, state, and local regulations. Provide a separate price for each line item and add the total of line items at the end of the scope. Transfer the lead scope total to the lead control line item in the main scope of work.

Lead Hazard (from LIRA)	Method of Control and Scope of Work	Number	Unit Cost	Line Item Cost
Room 3 – Master Bath – Window A1 – beige vinyl mini-blind (lead likely contained within the matrix of the vinyl)	Remove and replace mini blinds (give owner choice of make and color). Complete specialized cleaning throughout room 3.			
Room 4 – Bedroom 2 – Window A1 and Window B1 – beige vinyl mini-blinds (lead likely contained within the matrix of the vinyl)	Remove and replace mini blinds (give owner choice of make and color). Complete specialized cleaning throughout room 4.			

Total Bid for Lead Scope \$ _____

Scope of Work for Asbestos Hazard Control

Address 1124 White Plains Rd

Date 10/25/2023

All work disturbing asbestos containing materials (ACM) must be performed in compliance with all applicable federal, state, and local regulations. Work in the rehab scope that reasonably can be anticipated to disturb ACM is listed below. **The contractor is responsible for identifying all activities that disturb ACM and for the proper removal and disposal of all ACM disturbed while working on this project.**

If all disturbed ACM materials will fit into one asbestos waste or glove bag, contractor's workers who are properly trained under OSHA Construction Standard Asbestos Regulations 29 CFR 1926.1101 may remove and dispose of the ACM using safe work practices.

If all disturbed ACM materials will not fit into one asbestos waste or glove bag, or if workers are not properly trained, the contractor shall hire a state certified asbestos abatement firm to remove and dispose of the disturbed ACM materials.

Provide a separate price for each line item and add the total of line items at the end of the scope. Transfer the asbestos scope total to the asbestos control line item in the main scope of work.

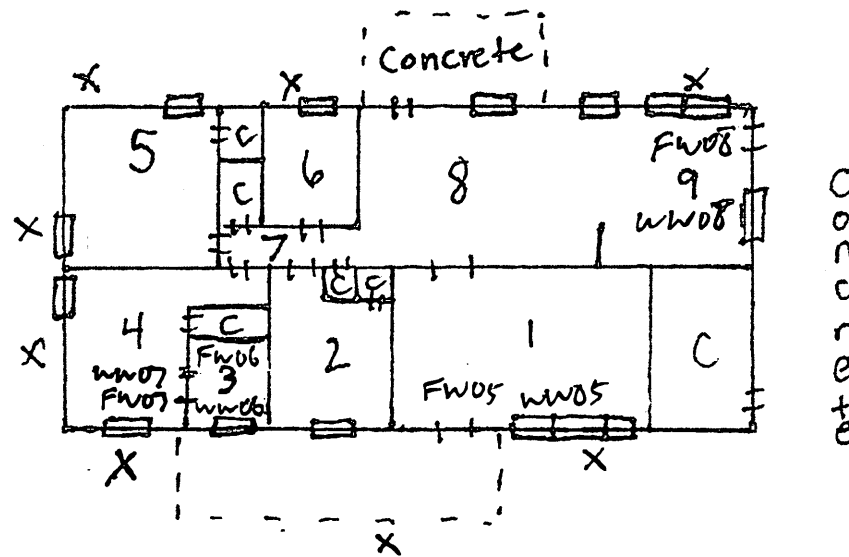
Asbestos Hazard (from asbestos report)	Work activities that will or may disturb identified Asbestos Containing Material (ACM)	Line Item Cost
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<p>INTERIOR - Beige Joint Compound - approx. 600 square feet of Beige Joint Compound on the wallboard joints, seams, and connection points throughout the house.</p>	<p>The contractor is responsible for identifying activities that disturb ACM and for the proper removal and disposal of all ACM disturbed in the course of working on this project. Work that may disturb ACM includes but may not be limited to:</p> <ol style="list-style-type: none"> 1. Cutting of wallboard or ceiling for any reason. 2. Removal and installation of shower and tubs. 3. Adding electrical outlet, lights, or smoke detectors. 4. Installing new air returns. 5. Paint prep that remove existing paint. <p>If all disturbed ACM materials will fit into one asbestos waste or glove bag, contractor's workers who are properly trained under OSHA Construction Standards Asbestos Regulations 29 CFR 1926.1101 may remove and dispose of the ACM using safe work practices. If all disturbed ACM materials will not fit into one asbestos waste or glove bag, or if workers are not properly trained, the contractor shall hire a state certified asbestos abatement firm to remove and dispose of the disturbed ACM materials.</p>	

Total Bid for Asbestos Scope \$ _____

SIDE C

SIDE B



SIDE D

Legend

- = Window
- = Door
- = Soil Sample Location

SIDE A

NOT TO SCALE