



223 NORTH GRAHAM STREET CHARLOTTE, NC 28202 704.333.0325 WWW.LANDDESIGN.COM

GOETTSCH PARTNERS Alexander Ricks

REZONING PETITION NO. RZP-2025-108

PLLC

**NOT FOR** CONSTRUCTION

# CENTRUM-SORELLE **DILWORTH REZONING**

CENTRUM REALTY & DEVELOPMENT 206 E. WORTHINGTON AVE.

1025024 REVISION / ISSUANCE NO. DESCRIPTION 1 REZONING SUBMITTAL 09.12.2025 **REZONING 2ND** REZONING 3RD 12.18.2025

ORIGINAL SHEET SIZE: 24" X 36"

RZ-2

# **DEVELOPMENT STANDARDS** Petitioner: CRD Development LLC

### **Site Development Data:**

--Acreage: ± 1(14)acres /3

-- Tax Parcel: # 121-055-14 --Existing Zoning: TOD-UC(CD), TOD-NC(CD)

--Proposed Zoning: RAC(EX) and TOD-UC(CD) -- Existing Uses: Vacant

-- Proposed Uses: Uses permitted by right and under prescribed conditions together with accessory uses, as allowed in the RAC and TOD-UC zoning districts, as applicable, not otherwise limited herein.

-- Maximum Building Height: Per the UDO or EX provision --Parking: Per the UDO

### I. General Provisions:

a. Site Description. These Development Standards and the Technical Data Sheet form the rezoning plan (hereafter collectively referred to as the "Rezoning Plan") associated with the Rezoning Petition filed by CRD Development ("Petitioner") to accommodate the development of mixed use development on an approximately 1.14-acre site located at the corner of East Worthington Avenue and Cleveland Avenue, more particularly described as Mecklenburg County Tax Parcel Number 121-055-14 (the "Site").

b. **Intent.** This Rezoning is intended to accommodate development on the Site of a hotel with commercial uses.

c. Zoning Districts/Ordinance. Development of the Site will be governed by the Rezoning Plan as well as the applicable provisions of the City of Charlotte Unified Development Ordinance (the Unless the Rezoning Plan establishes more stringent standards, the regulations established under the UDO for the RAC and TOD-UC zoning districts, as applicable, shall govern development taking

place on the designated portion of the Site. d. Planned/Unified Development. The Site shall be viewed as a planned/unified development plan as to the elements and portions of the Site generally depicted on the Rezoning Plan. As such, setbacks, side and rear yards, buffers, building height separation standards, and other similar zoning standards will not be required internally between improvements and other site elements located on the Site. Furthermore, the Petitioner and/or owner of the Site reserve the right to subdivide portions or all of the Site and create lots within the interior of the Site without regard to any such internal separation standards, and public/private street frontage requirements, provided, however, that all such separation standards along the exterior boundary of the Site shall be adhered to and treated as the Site as a whole and not individual portions or lots located therein.

The Site may be devoted to multifamily stacked, office, and commercial uses, and all other uses and all other uses remitted by right or under prescribed condition. Zoning Districts as applicable, not otherwise limited herein, together with any incidental or accessory uses associated therewith.

## (III. Design Guidelines

The renderings included with the Rezoning Plan are conceptual in nature only and are intended to reflect the overall scale of the building, various building expressions, materials, and design intent. The actual building to be constructed on the site may vary within reason. IV. Exception (EX) District Provisions

a. Purpose and Applicability. The EX zoning district provides a mechanism for altering or modifying certain select quantitative zoning standards, select qualitative zoning standards for certain uses, and street cross-section standards for new development concepts and innovative design. Accordingly, application of Exception (EX) provisions are permitted in this Rezoning Plan under Article 37.2C of the Ordinance. The exceptions listed on this Rezoning Plan shall be applied to only the RAC zoned portion of the Site.

b. EX Justifications with Community Benefits:

1. City Improvement. The Petitioner shall contribute a minimum of \$65,000 to the Dilworth Community Association (DCA) tree canopy fundraiser.

2. Public Amenity. Petitioner shall provide a minimum of fifty (50) percent additional public open space beyond UDO requirements for the RAC portion of the Site.

- c. The following exceptions from the dimensional and design standards and other standards of the UDO applicable to the RAC zoning district are hereby allowed in connection with development of the
- 1. Article 12.3.C. (Table 11-2 Footnote #3) RAC Zoning Districts Building Height Standards) to modify the allowed maximum building height within 100-feet and 200 feet of the N1 Place Type as described below.
- a. To allow a maximum building height of 84 feet instead of 50 feet for the portion of the building fronting Cleveland Avenue as generally depicted on the Reoning Plan as "Development Area
- b. To allow a maximum building height of 114 feet instead 65 feet for the portion of building fronting Cleveland Avenue as generally depicted on the Rezoning Plan as "Development Area B". 2. Article 12.3.E. (Table 12-4.A) (RAC Zoning District Transparency Standard) to modify the minimum ground floor transparency percentage to 40 percent instead of 50 percent for the portion of the building facing Cleveland Avenue (Other-primary frontage). .

Additional Parking Commitment

a. Additional parking requirements Additional parking requirements shall only be applied to the RAC zoned portion of the Site.

Commercial Uses: minimum of one (1) vehicular parking space pet 250 square feet of commercial gross square footage.

# c. Hotel: minimum of 0.75 vehicular parking space per one (1) hotel room. d. A minimum of 50 parking spaces shall be available for paid parking after 6 pm on weekdays and on weekends. The public parking spaces shall be subject to a rate schedule determined by petitioner VI. Construction Commitments

- a. Construction activities shall not be conducted on the Site on Sundays prior to 10 AM.
- b. The primary construction entrance to the Site shall not be located on Cleveland Avenue. If there is a construction entrance on Cleveland, it shall be used only when access points on South and Worthington are not feasible.
  - a. Vehicular access will be as generally depicted on the Rezoning Plan, utilizing the existing road network with East Worthington Avenue and Cleveland Avenue. Temporary construction access may be provided in addition to the vehicular access points as shown. The placements and configurations of the vehicular access points shown on the Rezoning Plan are subject to any
  - minor modifications required to accommodate final site and construction plans and designs and to any adjustments required by CDOT for approval. Right-of-Way Encroachment Agreement is required for the installation of any non-standard item(s) (irrigation systems, decorative concrete pavement, brick pavers, etc.) within a roposed/existing City-maintained street right-of-way by a private individual, group, business, or homeowner's/business association. An encroachment agreement must be approved by CDOT prior to construction/installation. Contact CDOT for additional information concerning cost, submittal, and liability insurance coverage requirements.
  - Petitioner shall coordinate with CDOT staff final driveway location at East Worthington Avenue during permitting.
  - Petitioner shall dedicate 36.5' right-of-way from the Cleveland Avenue centerline.

applicable, and their respective heirs, devisees, personal representatives, successors in interest or assigns.

- Petitioner shall dedicate 36.5' right-of-way from the East Worthington Avenue centerline.
- f. The petitioner shall complete and submit the Right of way Abandonment Petition form to CDOT for review. The Right of Way Abandonment process is controlled by North Carolina General Statutes and is independent of this rezoning process.
- The Petitioner shall dedicate and convey in fee simple all rights-of-way to the City before the site's first building certificate of occupancy is issued for the area included within this rezoning
- All the contest of improvements will be approved and constructed before the site's first building certificate of occupancy is issued within the area included in this rezoning petition. The periodner shall provide access to the Site from East Worthington Avenue. Driveway location to be coordinated with CDO1 staff during Land Development nermitting.
- Petitioner to dedicate right-of-way at back of sidewalk and provide a Sidewalk Utility Easement (S.U.E.) at 2' behind sidewalk where feasible or to building face where 2' is not available.
- Unless otherwise stated herein, all transportation improvements shall be substantially completed prior to the issuance of the first building certificate of occupancy for the Site. All public roadway improvements will be subject to the standards and criteria of CDOT. It is understood that such improvements may be undertaken by the Petitioner on its own or in injunction with other development or roadway projects taking place within the area, by way of a private/public partnership effort or other public sector project support.
- a. The petitioner shall comply with the Charlotte City Council approved and adopted Unified Development Ordinance Post Construction Stormwater Regulations (PCSR).
- b. The location, size, and type of storm water management systems if depicted on the Rezoning Plan are subject to review and approval as part of the full development plan submittal and are not implicitly approved with this rezoning. Adjustments may be necessary to accommodate actual storm water treatment requirements and natural site discharge points. IX. Amendments to the Rezoning Plan
- Future amendments to the Rezoning Plan (which includes these Development Standards) may be applied for by the then owner(s) of the applicable portion of the Site in accordance with the provisions herein and article 37.3 of the UDO. Changes to the Rezoning Plan not anticipated by the Rezoning Plan will be reviewed and approved as allowed by Article 37.3 of the UDO.

## (X.) Binding Effect of the Rezoning Application

If this Rezoning Petition is approved, it will, unless amended in the manner provided herein and under the UDO, be binding upon and inure to the benefit of the Petitioner and subsequent owner(s) of the Site, as

Zoning Standard	Article Reference	RAC Ordinance Requirement	RAC EX Provision Proposal	Applicable Development Areas	Notes as Needed
Building Height	Article 12.3.C. (Table 12-2 Footnote #3)	The maximum building height of any structure within 200 feet from the lot line of residential uses or vacant land in a Neighborhood 1 Place Type is limited to 50 feet within the first 100 feet.	The maximum building height of any structure within 200 feet from the lot line of residential uses or vacant land in a Neighborhood 1 Place Type is limited to 84' within the first 100 feet.	Development Area A	
Building Height	Article 12.3.C. (Table 12-2 Footnote #3)	The maximum building height of any structure within 200 feet from the lot line of residential uses or vacant land in a Neighborhood 1 Place Type is limited in the area between 100 and 200 feet away to a maximum height of 65 feet.	The maximum building height of any structure within 200 feet from the lot line of residential uses or vacant land in a Neighborhood 1 Place Type is limited in the area between 100 and 200 feet away to a maximum height of 114 feet.	Development Area B	
Ground Floor Transparency	Article 12.3.E. (Table 12-4.B)	The minimum ground floor transparency for a frontage along an other-primary street (Cleveland Avenue) for a nonresidential building is 50 percent.	The minimum ground floor transparency for a frontage along an other-primary street (Cleveland Avenue) for a nonresidential building is 40 percent.	Development Area A	

Sustainability	Public Amenity	City Improvement	Applicable Development Areas or Off- Site Location	Notes
Χ	X	The Petitioner shall contribute a minimum of \$65,000 to the DCA tree canopy fundraiser.	Off Site location	
	<u>\_3</u>			
X	Petitioner shall provide a minimum of fifty (50) percent additional public open space beyond UDO requirements for the RAC portion of the Site.	X	Development Area A and B	
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223 NORTH GRAHAM STREET CHARLOTTE, NC 28202 704.333.0325 WWW.LANDDESIGN.COM NC ENG. FIRM LICENSE # C-0658

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**CENTRUM REALTY & DEVELOPMENT** 206 E. WORTHINGTON AVE.

CHARLOTTE, NC

1025024 REVISION / ISSUANCE DESCRIPTION 09.12.2025 REZONING SUBMITTAL **REZONING 2ND** 1.10.2025 SUBMITTAL REZONING 3RD 12.18.2025 SUBMITTAL

HORZ: N/A

**DEVELOPMENT STANDARD** NOTES





CORNER MASSING ALONG
CLEVELAND NO LESS THAN
12' FROM PROPOSED R.O.W.
ON ALL LEVELS

# NOTES

1. THESE RENDERINGS ARE CONCEPTUAL IN NATURE ONLY AND ARE INTENDED TO REFLECT THE OVERALL SCALE OF THE BUILDING, VARIOUS BUILDING EXPRESSIONS, MATERIALS, AND DESIGN INTENT. THE ACTUAL BUILDING TO BE CONSTRUCTED ON THE SITE MAY VARY WITHIN REASON.

Cleveland Avenue
Dilworth Hotel / 12.18.2025

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CHARLOTTE, NC

VERT: N/A HORZ: N/A

SHEET TITLE

SUPPLEMENTAL

RENDERINGS

R7-4

GP



CORNER MASSING ON WORTHINGTON NO LESS THAN 3' FROM PROPOSED R.O.W. ON ALL LEVELS



MASSING AT WESTERN EDGE ALONG WORTHINGTON NO LESS THAN 9' FROM PROPOSED R.O.W. ON ALL LEVELS

Massing

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Worthington Avenue at Corner
Dilworth Hotel / 12.18.2025

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DILWORTH
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CENTRUM REALTY & DEVELOPMENT 206 E. WORTHINGTON AVE.

CHARLOTTE, NC

HORZ: N/A

SUPPLEMENTAL RENDERINGS

R7-5

GP





Massing

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Worthington Avenue at Recessed Facade
Dilworth Hotel / 12.18.2025

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CHARLOTTE, NC

VERT: N/A HORZ: N/A

> SUPPLEMENTAL RENDERINGS

R7-6

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