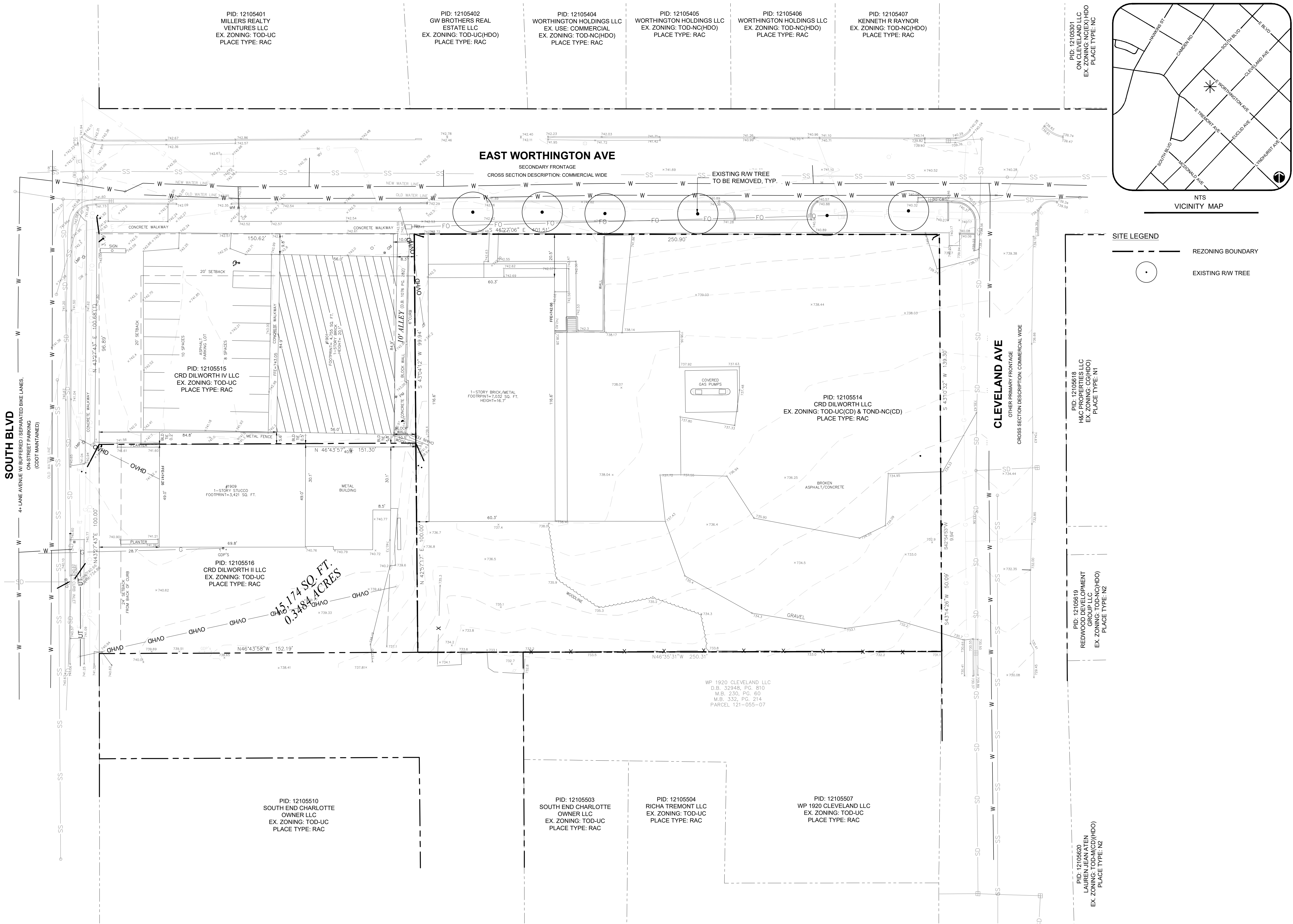


NO.	DESCRIPTION	DATE
1	REZONING SUBMITTAL	09.12.2025
2	REZONING 2ND SUBMITTAL	11.10.2025
3	REZONING 3RD SUBMITTAL	12.18.2025



ENTRUM REALTY & DEVELOPMENT
206 E. WORTHINGTON AVE.
CHARLOTTE, NC


[illegible]

SCALE

NORTH

VERT: N/A

HORZ: 1" = 20'

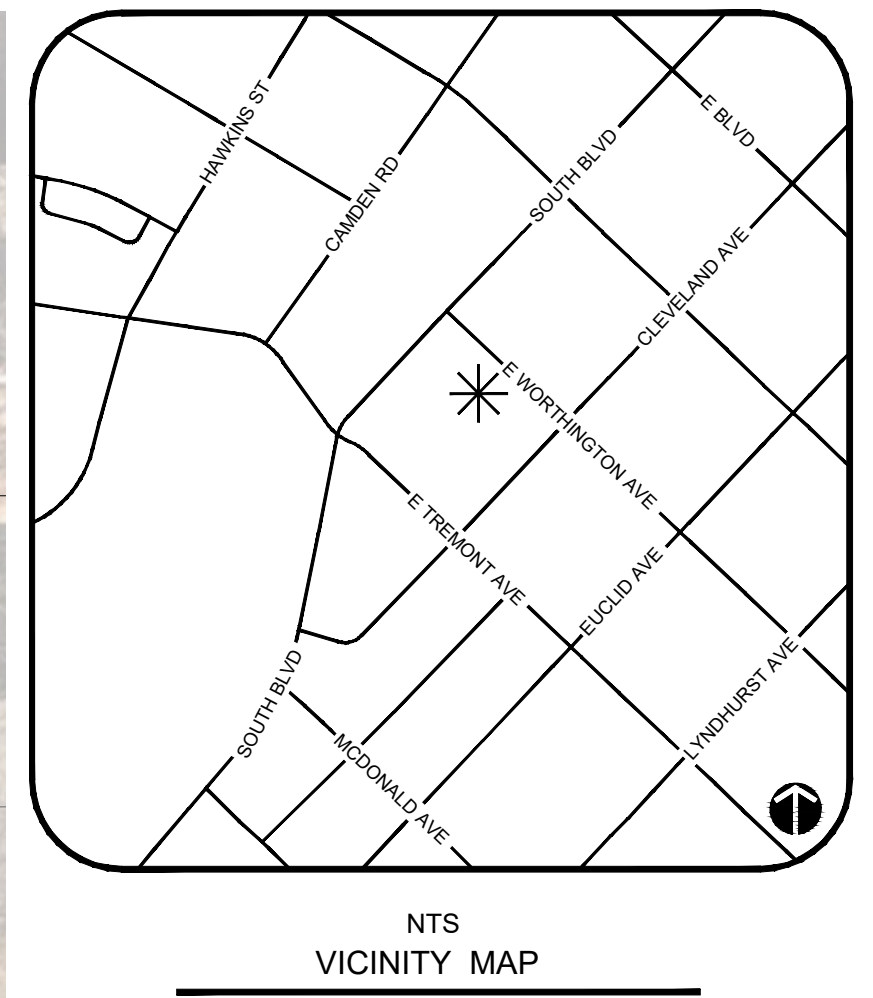
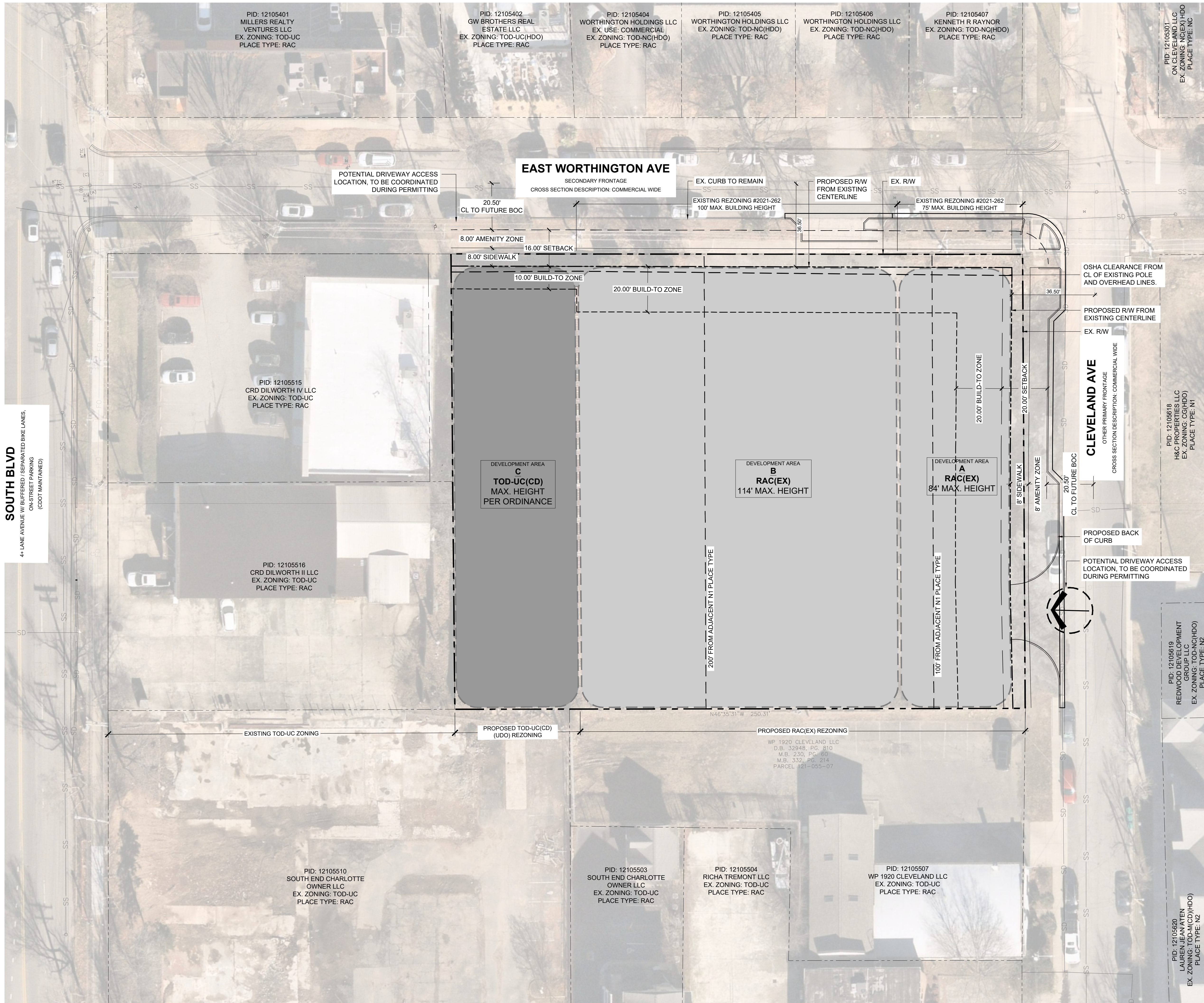


0 10 20 40

TECHNICAL DATA SHEET

SHEET NUMBER

RZ-2




Site Development Data:

- Acres:** ± 10.6 acres
- Tax Parcel:** # 121-055-14
- Existing Zoning:** TOD-UC(CD), TOD-NC(CD)
- Proposed Zoning:** RAC(EX) and TOD-UC(CD)
- Existing Uses:** Vacant
- Proposed Uses:** Uses permitted by right and under prescribed conditions together with accessory uses, as allowed in the RAC and TOD-UC zoning districts, as applicable, not otherwise limited herein.
- Maximum Building Height:** Per the UDO or EX provision
- Parking:** Per the UDO

SITE LEGEND

	REZONING BOUNDARY
	PROPOSED SETBACK
	BUILD-TO ZONE
	OSHA SETBACK
	PROPOSED R/W
	FUTURE BOC
	SITE ACCESS

Sustainability		Public Amenity	City Improvement	EX Public Benefits Applicable Development Areas or Off-Site Location	Notes
X		X	The Petitioner shall contribute a minimum of \$65,000 to the DCA tree canopy fundraiser.	Off Site location	
X		Petitioner shall provide a minimum of fifty (50) percent additional public open space beyond UDO requirements for the RAC portion of the Site.	X	Development Area A and B	
X	X	X			

NO.	DESCRIPTION	DATE
1	REZONING SUBMITTAL	09.12.2025
2	REZONING 2ND SUBMITTAL	11.10.2025
3	REZONING 3RD SUBMITTAL	12.18.2025



NOTES

1. THESE RENDERINGS ARE CONCEPTUAL IN NATURE ONLY AND ARE INTENDED TO REFLECT THE OVERALL SCALE OF THE BUILDING, VARIOUS BUILDING EXPRESSIONS, MATERIALS, AND DESIGN INTENT. THE ACTUAL BUILDING TO BE CONSTRUCTED ON THE SITE MAY VARY WITHIN REASON.




PROJECT

CENTRUM REALTY & DEVELOPMENT

206 E. WORTHINGTON AVE.
CHARLOTTE, NC

LANDDESIGN PROJ.# 1025024

REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
1	REZONING SUBMITTAL	09.12.2025
2	REZONING 2ND SUBMITTAL	11.10.2025
 3	REZONING 3RD SUBMITTAL	12.18.2025

VERT: N/A
HORZ: N/A

SHEET TITLE

SUPPLEMENTAL
RENDERINGS

SHEET NUMBER

RZ-5



NOTES

1. THESE RENDERINGS ARE CONCEPTUAL IN NATURE ONLY AND ARE INTENDED TO REFLECT THE OVERALL SCALE OF THE BUILDING, VARIOUS BUILDING EXPRESSIONS, MATERIALS, AND DESIGN INTENT. THE ACTUAL BUILDING TO BE CONSTRUCTED ON THE SITE MAY VARY WITHIN REASON.



Worthington Avenue at Corner

Dilworth Hotel / 12.18.2025

PROJECT

CENTRUM REALTY & DEVELOPMENT

LANDDESIGN PROJ.# 1025024

[illegible]

SHEET TITLE

SHEET NUMBER

RZ-6



1. THESE RENDERINGS ARE CONCEPTUAL IN NATURE ONLY AND ARE INTENDED TO REFLECT THE OVERALL SCALE OF THE BUILDING, VARIOUS BUILDING EXPRESSIONS, MATERIALS, AND DESIGN INTENT. THE ACTUAL BUILDING TO BE CONSTRUCTED ON THE SITE MAY VARY WITHIN REASON.



Dilworth Hotel / 12.18.2025