

CITY OF CHARLOTTE
REZONING PETITION NO. 2025-089

November 10, 2025

Development Data Table

--Site Area:	± 18.242 acres
--Tax Parcel No.:	225-151-04
--Existing Zoning:	Commercial Center (Rezoning Petition No. 1995-007)
--Proposed Zoning:	Commercial Center Site Plan Amendment
--Proposed Uses:	Uses permitted by right and under prescribed conditions and accessory uses relating thereto as allowed under Rezoning Petition No. 1995-007 (as administratively amended)

- A. **General.** The purpose of this Rezoning Petition is to amend the approved conditional rezoning plan relating to Rezoning Petition No. 1995-007 as administratively amended (the “**Approved Rezoning Plan**”) as more particularly described below in paragraph C.
- B. **Zoning District/Ordinance.** The development and use of the Site will be governed by these Development Standards and the applicable provisions of the City of Charlotte Zoning Ordinance in effect as of the date of the approval of Rezoning Petition No. 1995-007 (the “**Ordinance**”). Unless the Rezoning Plan or these Development Standards establish more stringent standards, the regulations under the Ordinance for the Commercial Center zoning district shall govern the development and use of the Site.
- C. **Amendments to the Approved Rezoning Plan.** Pursuant to this Rezoning Petition, the Approved Rezoning Plan is amended as set out below.
1. Note 17 of the Conditions or Development Standards on the Approved Rezoning Plan relating to access from Willow Point Drive is hereby deleted in its entirety, such that there are no prohibitions or restrictions on access from Willow Point Drive.
 2. The width of that portion of the 50-foot-wide buffer located along the Site’s frontage on Willow Point Drive to the rear of Store 1, Store 2 and Store 3 and designated on Exhibit A attached hereto as the “**Buffer Width Reduction Area**” is reduced from 50 feet to 35 feet. This 35-foot-wide-buffer (the “**35-Foot-Wide Buffer**”) shall meet the standards of a Class B buffer, and a 6-foot-tall opaque screening fence shall be installed along the inner edge of the 35-Foot-Wide Buffer as depicted on Section A on Exhibit A. A berm shall not be required to be located within the 35-Foot-Wide Buffer.
 3. The 75-foot-wide building setback from Willow Point Drive shall remain in place; however, off-street vehicular parking and vehicular maneuvering and circulation may be

located and occur between the 75-foot-wide building setback and the 35-Foot-Wide Buffer/35-foot-wide Commercial Center setback, and outside of the 75-foot-wide building setback.

4. The purpose of these amendments is to allow off-street vehicular parking and vehicular maneuvering and circulation to be located and occur to the rear of Store 1, Store 2 and Store 3 as referenced above in paragraph 3 and within the Buffer Width Reduction Area. This additional parking could be utilized by visitors to the Site, employees and CATS bus riders.
- D. **Effect of Site Plan Amendment.** Except as specifically amended by this site plan amendment, the Approved Rezoning Plan and the Development Standards and Conditions set out thereon remain in full force and effect.

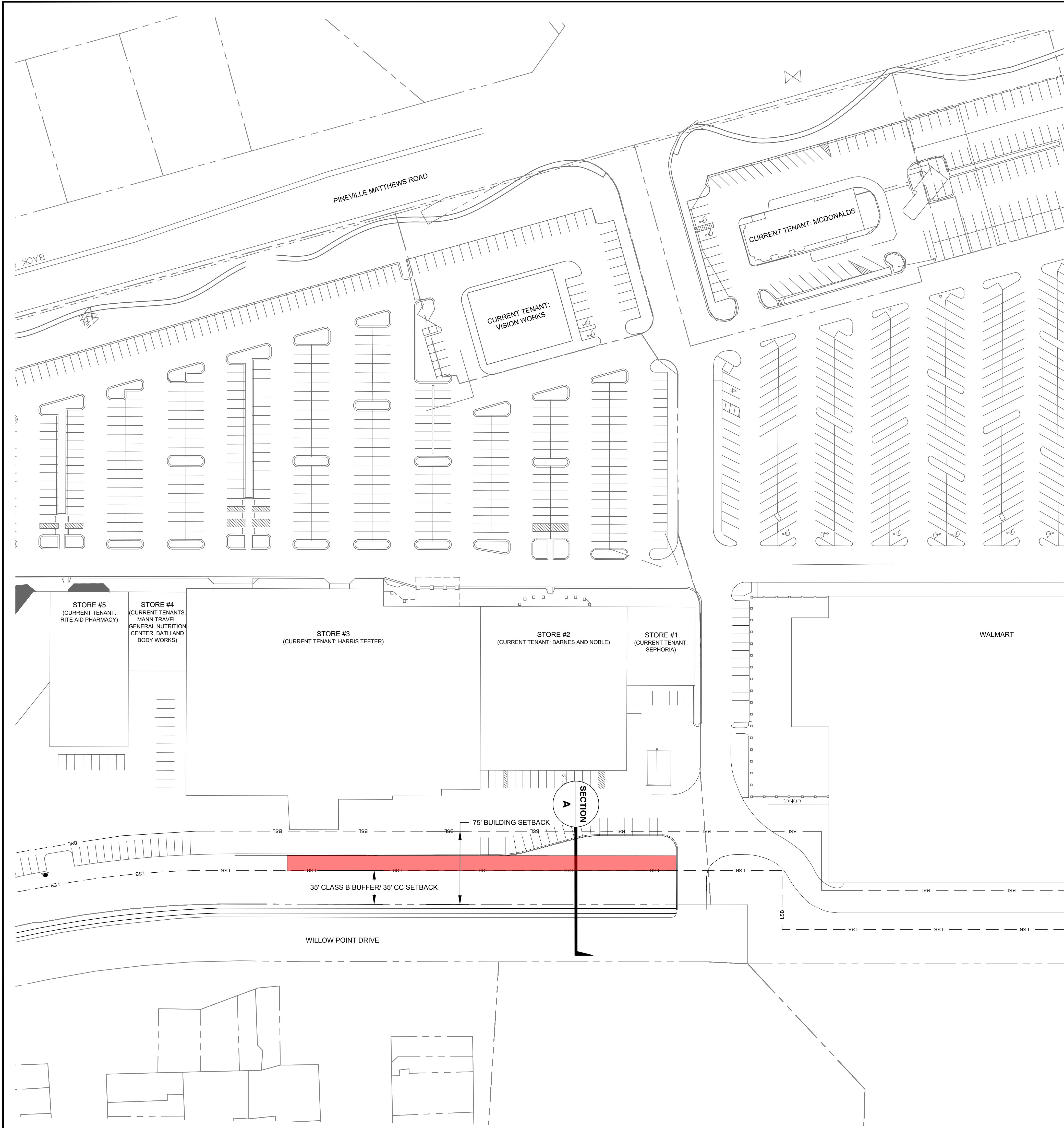
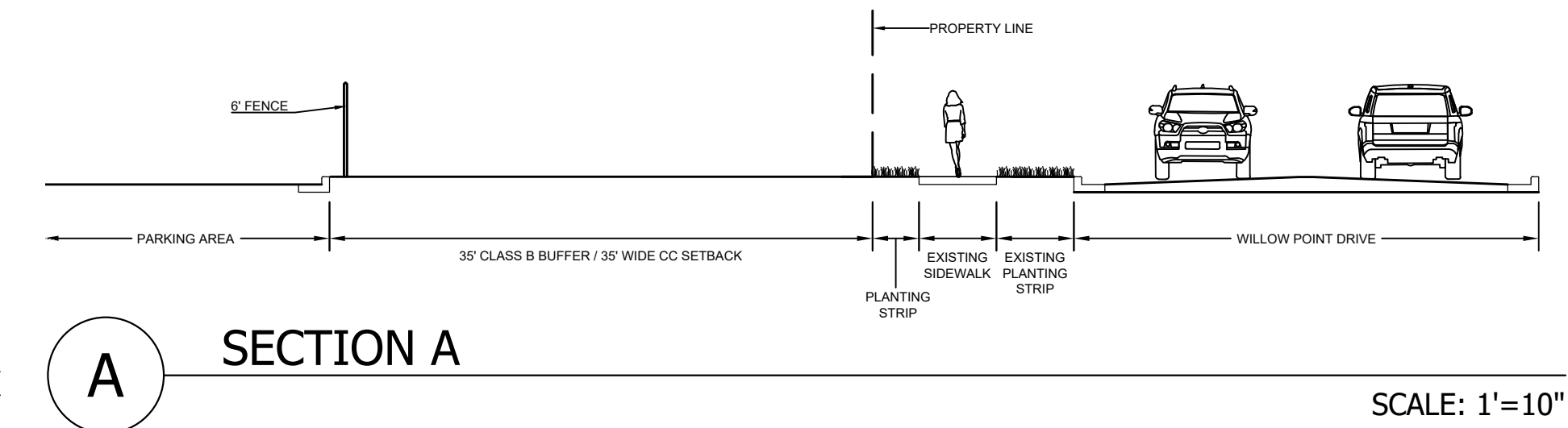
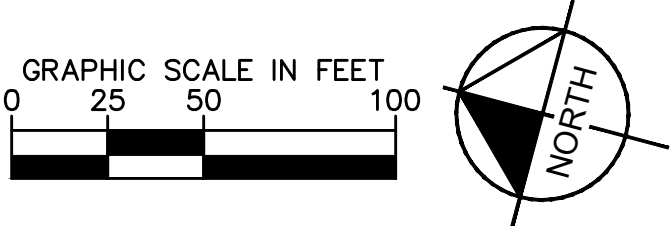


Exhibit A



NOTE: PARKING LAYOUT IS SUBJECT TO CHANGE DURING THE PERMITTING PROCESS



SHEET NUMBER		ARBORETUM		EXHIBIT A		KH PROJECT 015272039		Kimley»Horn © 2022 KIMLEY-HORN AND ASSOCIATES, INC. 200 SOUTH TRYON ST. SUITE 200, CHARLOTTE, NC 28202 PHONE: 704-335-5131 WWW.KIMLEY-HORN.COM NC LICENSE #F-0102			
EX-1		PREPARED FOR AMERICAN ASSET CORPORATION CHARLOTTE				DATE 11/06/2025				SCALE AS SHOWN DESIGNED BY NAT DRAWN BY CTC CHECKED BY NAT	
										REVISIONS	
										BY	
										DATE	