

# Rezoning Transportation Analysis

Petition Number: 2022-216

General Location Identifier: 05322402, 05322401, 05322405, 05322403, 05322406, and 05322404.

**From:** Jake Carpenter, PE

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**Reviewer:**

**Isaiah Washington**

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## Revision Log:

Date	Description
05-24-2023	First Review (JP)
11-27-2023	Second Review (TP)
12-19-2023	Third Review (IW)
01-24-2024	Fourth Review (KC)
02-28-2024	Fifth Review (TM)

## General Review Information

The petition is located on the north side of Centergrove Lane, a State-maintained local street, west of Sam Wilson Road, a State-maintained minor thoroughfare. The petition is located in a north wedge outside of Route 4, within the I-485 Interchange Analysis Study.

### Active Projects Near the Site:

- Project Square Grooves (RZP-2020-049)
  - Private development located along Centergrove Lane

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*CDOT's review of this rezoning petition is intended to provide consistency with council adopted policies, plans, standards and guidelines including, but not limited to, the [Transportation Action Plan \(TAP\)](#), [Vision Zero](#), [Urban Street Design Guidelines \(USDG\)](#), [Center, Corridor and Wedges](#), [Charlotte BIKES](#), [Traffic Impact Study Guidelines](#) and [Charlotte WALKS](#). With a commitment to design complete streets, this review is to ensure that the City's transportation network supports current and future land uses and includes streets that provide safe and comfortable mobility for motorists, pedestrians, bicyclists, and transit users.*

*This document is primarily for communication to Planning Department staff as part of the overall City staff analysis of the rezoning petition and includes an overall summary of the case from a transportation perspective, information on trip generation, and resolved or outstanding site plan concerns. Additional advisory information about the driveway permit process is provided for information only.*

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Based on our review of the petition, we offer the following information for your consideration.

## Transportation Summary

The site is located on the north side of Centergrove Lane, a State-maintained local street, west of Sam Wilson Road, a State-maintained minor thoroughfare. A Traffic Impact Study (TIS) is required for this site and was approved by CDOT on 11-27-2023. Site plan and/or conditional note revisions are needed including labeling and dimensioning right-of-way/curb and gutter elements from centerline. Further details are listed below.

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## Trip Generation

Scenario	Land Use	Intensity	Trip Generation (vehicle trips/day)	Source
Existing Use	Vacant	-	-	<i>Tax Record</i>
Entitlement with Current Zoning	Single Family Retail (R-3 & B-2, 3.55 acres)	2 Dwelling Units 39,150 SF	1,905	<i>General Guidance from Planning</i>
<del>Proposed Zoning</del>	<del>Convenience Store/ Gas Station (I-1, 3.55 acres)</del>	5,160 SF	6,405	<i>Site Plan: 11-16-22</i>
Proposed Zoning	Convenience Store/ Gas Station (I-1, 3.55 acres)	5,312 SF	6,815	<i>Site Plan: 02-01-23</i>

Petitioner to provide responses to the staff comments below as well as specify other changes to the site plan.

## Outstanding Issues

**Strikethrough = Resolved**

### 1. ~~Curbline:~~

- a. ~~**Sam Wilson Road:** Location of curb and gutter to be moved to 30 feet from roadway centerline to accommodate the Charlotte Streets Map with a roadway typical section of a 4+ avenue with a 12-foot multi-use path.~~

~~**NOTE:** Additional distance from center line to back of curb may be required in locations where a median and turn lanes are required. Final curbline locations to be reviewed by CDOT once TIS is approved.~~

~~Label and dimension the curb and gutter from the centerline for each road on the site plan.~~

**Clarifying comment 11.27.2023:** Label and dimension curb and gutter 30 feet from roadway centerline on Sam Wilson.

### 2. ~~Traffic Study:~~

~~A Traffic Impact Study is required for the complete review of this petition due to the site generating more than 2,500 daily trips and/or triggering other City TIS requirements. CDOT has received the submitted TIS and is currently reviewing the petition. Additional comments will be provided on the rezoning plan once the TIS is approved.~~

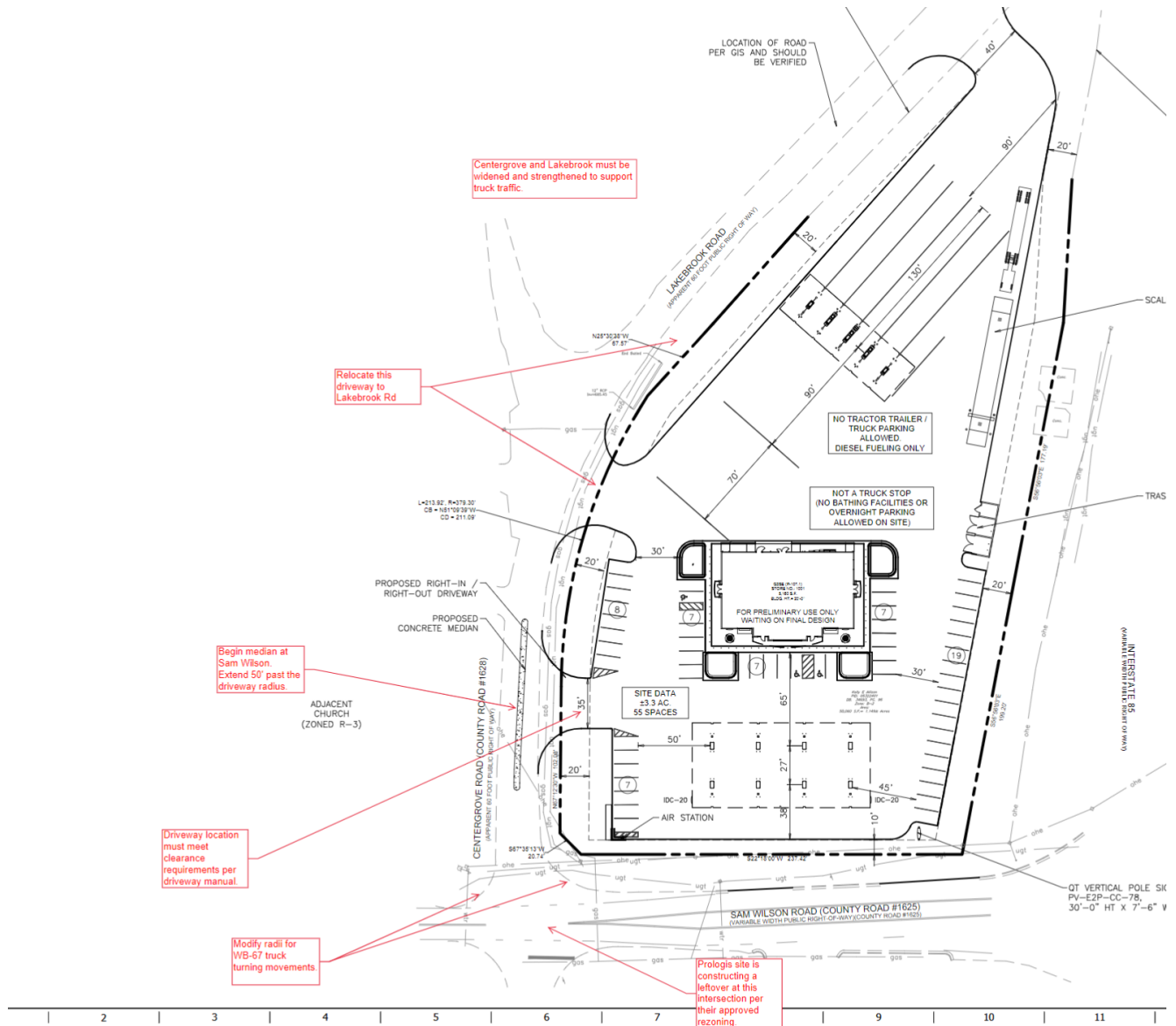
~~Staff will receive the petition and begin review, but the public hearing will not be scheduled until the TIS is approved to allow for the minimum time necessary for CDOT to review the study and reach agreement with the petitioner on the required transportation commitments. Any agreed upon commitments shall be included on the last site plan submitted no fewer than 4 weeks prior to the public hearing. Therefore, additional traffic mitigation comments may be forthcoming once the TIS is approved by CDOT (and NCDOT).~~

### 3. ~~Per coordination with NCDOT address the below access management comments.~~

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4. ~~Revise site plan and conditional note(s) to commit to dedicate 35 feet of right of way from the road centerline on Sam Wilson Road. The site plan shall label and dimension the right of way from the road centerline.~~

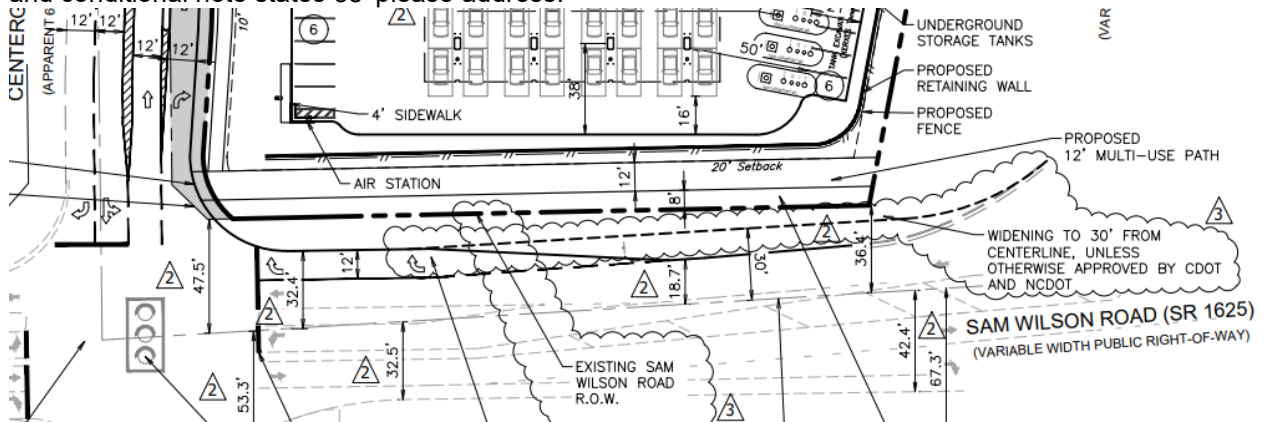
**Clarifying comment 11.27.2023:** Label and dimension right of way from roadway centerline on Sam Wilson.

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5. **New comment 01.24.2024:** Conflict with revised site plan and conditional notes, site plan shows 30' and conditional note states 35' please address.

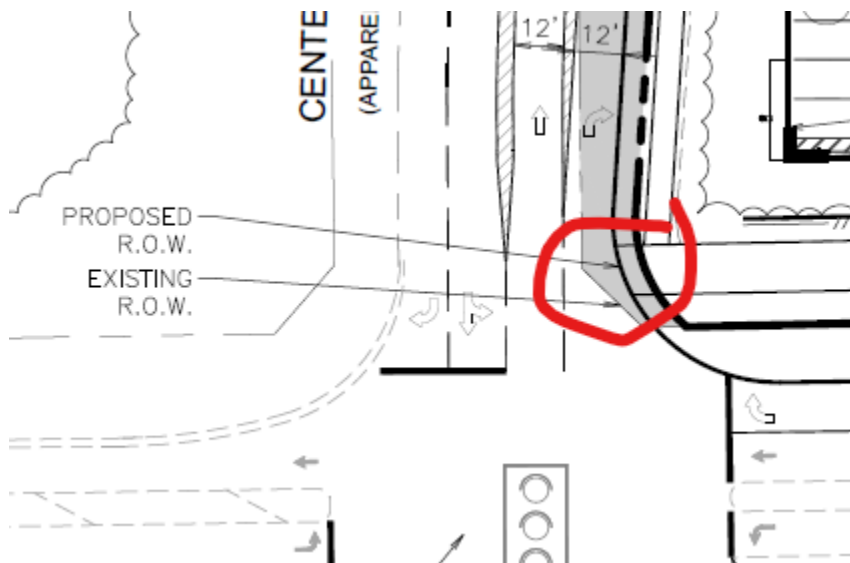


4. Prior to the issuance of the first certificate of occupancy for the building to be constructed on the Site, Petitioner shall dedicate and convey to the City of Charlotte or to NCDOT as applicable (subject to a reservation for any necessary utility easements) those portions of the Site located immediately adjacent to Sam Wilson Road as required to provide right of way measuring 35 feet from the existing centerline of Sam Wilson Road, to the extent that such right of way does not already exist.

6. **New Comment 12-20-2023:** Revise site plan to clearly show and label the location of existing right of way and proposed right of way.

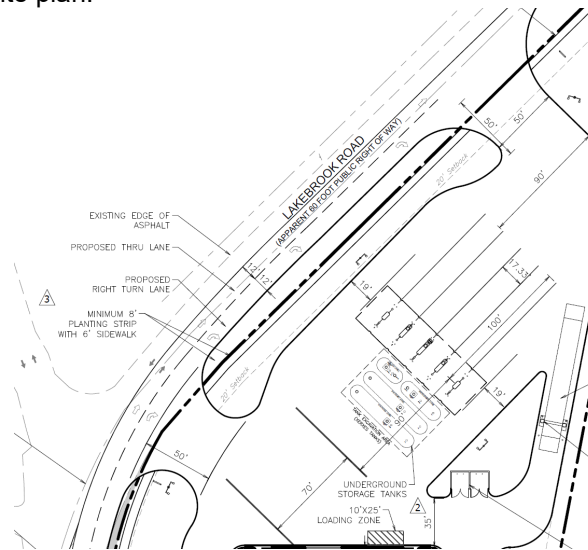
**Clarifying Comment 01.24.2024:** Label and clearly dimension the existing right of way and the proposed right of way.

**Clarifying Comment 02-28-2024:** Label and Dimension ROW, curb and gutter (existing and proposed) along Centergrove Road and Lakebrook Road. Dimensions shall be from roadway centerline.



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7. **New Comment 02-28-2024:** Driveway stem is measured from the ROW not the edge of travel. Revise dimension location and site plan.



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~~easeement. Add conditional note committing to construction and maintenance of the 6-foot sidewalk on Centergrove Lane and the 12-foot multi-use path on Sam Wilson Road.~~

~~**Clarifying comment 11.27.2023:** Add conditional committing to maintenance of 6-foot sidewalk on Centergrove Lane.~~

## Advisory Information

The following are requirements of the developer that must be satisfied prior to driveway permit approval. These requirements shall be reflected on the rezoning plan, as appropriate.

1. CDOT has the authority to regulate/approve all private street/driveway and public street connections to the right-of-way of a street under the regulatory jurisdiction of the City of Charlotte, per the City of Charlotte's Driveway Regulations.
2. Adequate sight triangles must be reserved at the existing/proposed street entrance(s). Two 50' x 50' sight triangles (and two 10' x 70' sight triangles on NCDOT-maintained streets) are required for the entrance(s) to meet requirements. All proposed trees, berms, walls, fences, and/or identification signs shall not interfere with sight distance at the entrance(s) and shall be identified on the site plan.
3. The proposed driveway connection(s) to public streets will require a driveway permit(s) to be submitted to CDOT (and NCDOT on NCDOT-maintained streets) for review and approval. The exact driveway location(s) and type/width of the driveway(s) will be determined by CDOT during the driveway permit process. The locations of the driveway(s) shown on the site plan are subject to change in order to align with driveway(s) on the opposite side of the street and comply with City Driveway Regulations and the City Tree Ordinance.
4. All proposed commercial driveway connections to a future public street will require a driveway permit submitted to CDOT for review and approval.
5. Any fence or wall constructed along or adjacent to any sidewalk or street right-of-way requires a certificate issued by CDOT.
6. To obtain a street and pedestrian lighting recommendation, the petitioner should visit the following link: <https://charlottenc.gov/Transportation/Programs/Pages/StreetLighting.aspx>