

Rezoning Transportation Analysis

Petition Number: #2022-175

General Location Identifier: 10505103

From: Jake Carpenter, PE

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Reviewer:

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Revision Log:

Date	Description
02-22-23	First Review (TM)

General Review Information

The petition is located on Rocky River Road, a State-maintained throughfare west Back Creek Church Road, a State-maintained local road. The petition is located in the east wedge outside of Route 4, within the Rocky River Road Area Plan.

Active Projects Near the Site:

- N/A

CDOT's review of this rezoning petition is intended to provide consistency with council adopted policies, plans, standards and guidelines including, but not limited to, the [Transportation Action Plan \(TAP\)](#), [Vision Zero](#), [Urban Street Design Guidelines \(USDG\)](#), [Center, Corridor and Wedges](#), [Charlotte BIKES](#), [Traffic Impact Study Guidelines](#) and [Charlotte WALKS](#). With a commitment to design complete streets, this review is to ensure that the City's transportation network supports current and future land uses and includes streets that provide safe and comfortable mobility for motorists, pedestrians, bicyclists, and transit users.

This document is primarily for communication to Planning Department staff as part of the overall City staff analysis of the rezoning petition and includes an overall summary of the case from a transportation perspective, information on trip generation, and resolved or outstanding site plan concerns. Additional advisory information about the driveway permit process is provided for information only.

Based on our review of the petition, we offer the following information for your consideration.

Transportation Summary

The site is located on Rocky River Road a State-maintained, major thoroughfare road, west of Back Creek Church Road, a State-maintained local road. A Traffic Impact Study (TIS) is not required for this site due to the site generating less than 2500 daily trips. Site plan and/or conditional note revisions are needed to commit to constructing turn lane improvement in coordination with NCDOT, dimensioning streetscape along Rocky River Road from the roadway centerline, and the revisions of conditional notes. Further details are listed below.

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Trip Generation

Scenario	Land Use	Intensity	Trip Generation (vehicle trips/day)	Source
Existing Use	Vacant	-	-	<i>Tax Record</i>
Entitlement with Current Zoning	Single Family (R-3, 38.25 acres)	114 Dwelling Units	1,140	<i>General Guidance from Planning</i>
Proposed Zoning	Single Family Attached (R-8, 38.25 acres)	194 Dwelling Units	1,430	<i>Site Plan: 08-26-22</i>

Petitioner to provide responses to the staff comments below as well as specify other changes to the site plan.

Outstanding Issues

Strikethrough = Resolved

1. Curblines:

- a. **Rocky River Road:** Location of curb and gutter to be moved to 30-feet from roadway centerline to accommodate the Charlotte Streets Map with a roadway typical section of 4+ Avenue and Shared Use Path.

NOTE: Additional distance from center line to back of curb may be required in locations where a median is present or around intersections and interchanges.

Outstanding Comment from 02-22-23: Label and dimension the curb and gutter from the centerline for each road on the site plan.

2. ~~Traffic Study:~~

~~A Traffic Impact Study (TIS) is not required for the complete review of this petition due to the site generating less than 2,500 daily trips and/or not triggering any other City TIS requirements.~~

- 3. **Outstanding Comment from 02-22-23:** The site plan shall label and dimension the right-of-way from the road centerline.

- 4. ~~Add a conditional note specifying "A Right-of-Way Encroachment Agreement is required for the installation of any non-standard item(s) (irrigation systems, decorative concrete pavement, brick pavers, etc.) within a proposed/existing City maintained street right of way by a private individual, group, business, or homeowner's/business association. An encroachment agreement must be approved by CDOT prior to construction/installation. Contact CDOT for additional information concerning cost, submittal, and liability insurance coverage requirements."~~

- 5. ~~Revise site plan and conditional note(s) to commit to construct bicycle facilities by locating the curb and gutter 30' from the Rocky River Road center line and installing a 12' multi-use path to meet the Council-adopted Charlotte BIKES Policy. Multi-use paths maintained by the City shall meet ADA/PROWAG requirements.~~

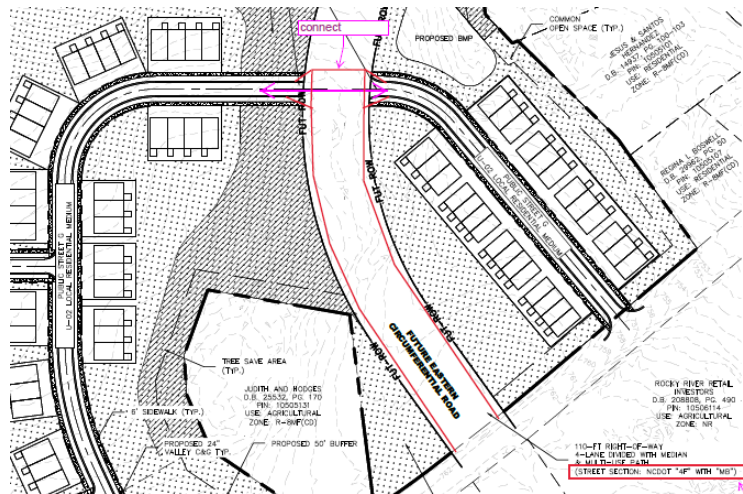
- 6. ~~Revise conditional note(s) to commit to construct an 8-foot planting strip, and 6-foot sidewalk on all internal roadways per Chapter 20. The site plan shall label and dimension both items from the back of curb and gutter or edge of pavement.~~

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7. ~~Remove site access from Public Street G to Rocky River Road and replace it with a cul de sac. Connect road to internal street network.~~
8. ~~**CDOT Request:** Revise site plan and conditional note(s) to commit to constructing the portion of Back Creek Church/Eastern Circumferential Road realignment as a local collector per CLDSM U-07 from Rocky River Road to Public Street G. Place sidewalk in the final location regarding the future Circumferential Road.~~



9. **Outstanding Comment from 02-22-23:** Revise site plan and conditional note(s) to commit to constructing Public Street B as right-in right-out access point. Widen Rocky River Road to install a dedicated right turn lane into the site with 100-feet of storage in coordination with NCDOT.

Clarifying Comment from 03-23-23: Right-in/Right-Out will require 4' median extending 50' past radius of curb return on either side of driveway. Label and Dimension median and turn turn lane on site plan.

10. **Outstanding Comment from 02-22-23:** Revise site plan and conditional note(s) to commit to widening Rocky River Road to construct a dedicated left turn lane with 150-feet of storage and a right turn lane with 100-feet of storage at Public Street G in coordination with NCDOT.

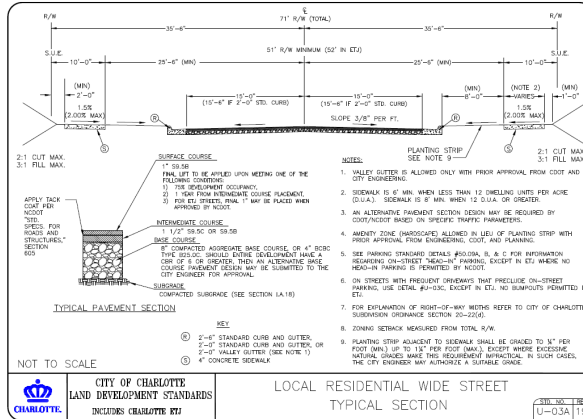
Clarifying Comment from 03-23-23: Label and Dimension turn lanes on site plan.

11. ~~**CDOT REQUEST:** Revise site plan and conditional note(s) to commit to constructing Public Road B, A and G to CLDSM U-03 standard. Site plan shall label and dimension roadways. Conditional note(s) shall identify the roadway standard used for each roadway.~~

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12. **Outstanding Comment from 02-22-23:** Add a conditional note specifying “the Petitioner shall dedicate and convey in fee simple all rights-of-way to the City before the site’s first building certificate of occupancy is issued. CDOT requests rights-of-way set at 2’ behind back of sidewalk where feasible.”

13. Add a conditional note specifying “All transportation improvements will be approved and constructed before the site’s first building certificate of occupancy is issued. The petitioner may phase transportation improvements if said improvements and phasing are explicitly described in site plan notes.”

Additional Comment 03-23-23: Revise conditional note to clarify transportation improvements to be completed prior to first CO. Revise conditional note specifying “All roadway improvements will be approved and constructed before the site’s first building certificate is issued. Including all roadway improvements up to intermediate course of pavement schedule and curb and gutter. All other transportation and improvements which includes all public infrastructure shall be complete by the 50th certificate of occupancy. The petitioner may phase transportation improvements if said improvements and phasing are explicitly described in site plan notes.”

~~14. Add conditional note specifying “All public roadway improvements will be subject to the standards and criteria of CDOT and NCDOT, as applicable, to the roadway improvements within their respective road system authority. It is understood that such improvements may be undertaken by the Petitioner on its own or in conjunction with other development or roadway projects taking place within the broad north eastern Mecklenburg area, by way of a private/public partnership effort or other public sector project support.”~~

5. ALL PUBLIC ROADWAY IMPROVEMENTS WILL BE SUBJECT THE THE STANDARDS AND CRITERIA OF CDOT AND NCDOT, AS APPLICABLE, TO THE ROADWAY IMPROVEMENTS WITHIN THEIR RESPECTIVE ROAD SYSTEM AUTHORITY. IT IS UNDERSTOOD THAT SUCH IMPROVEMENTS MAY BE UNDERTAKEN BY THE PETITIONER ON ITS OWN OR IN CONJUNCTION WITH OTHER DEVELOPMENT OR ROADWAY PROJECTS TAKING PLACE WITHIN THE BROAD **CENTRAL MECKLENBURG AREA** BY WAY OF A PRIVATE/PUBLIC PARTNERSHIP EFFORT OR OTHER PUBLIC SECTOR PROJECT SUPPORT.

15. Revise site plan and conditional note(s) to construct 8-foot planting strips and 12-foot multi-use paths on Rocky River Road. The site plan shall label and dimension both items from the back of curb and gutter or edge of pavement. Add conditional note The entire facility must be outside of the right of way

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and within a public access easement. Add conditional note committing to construction and maintenance of the 12-foot multi-use paths on Rocky River Road.

Clarifying Comment from 02-22-23: Add conditional note committing to the maintenance of the 12-foot multi-use path

16. New Comment 03-23-23: Revise conditional note by correcting planting strip width called out.

3. PETITIONER SHALL PROVIDE MINIMUM SIX (6) FOOT WIDE INTER
AND EIGHT (6) FOOT WIDE INTERNAL PLANTING STRIPS WITHIN T
GENERALLY DEPICTED ON THE REZONING PLAN.

4. THE PETITIONER SHALL DEDICATE 50 FEET OF RIGHT OF WAY

Advisory Information

The following are requirements of the developer that must be satisfied prior to driveway permit approval. These requirements shall be reflected on the rezoning plan, as appropriate.

1. CDOT has the authority to regulate/approve all private street/driveway and public street connections to the right-of-way of a street under the regulatory jurisdiction of the City of Charlotte, per the City of Charlotte's Driveway Regulations.
2. Adequate sight triangles must be reserved at the existing/proposed street entrance(s). Two 35' x 35' sight triangles (and two 10' x 70' sight triangles on NCDOT-maintained streets) are required for the entrance(s) to meet requirements. All proposed trees, berms, walls, fences, and/or identification signs shall not interfere with sight distance at the entrance(s) and shall be identified on the site plan.
3. The proposed driveway connection(s) to public streets will require a driveway permit(s) to be submitted to CDOT (and NCDOT on NCDOT-maintained streets) for review and approval. The exact driveway location(s) and type/width of the driveway(s) will be determined by CDOT during the driveway permit process. The locations of the driveway(s) shown on the site plan are subject to change in order to align with driveway(s) on the opposite side of the street and comply with City Driveway Regulations and the City Tree Ordinance.
4. All proposed commercial driveway connections to a future public street will require a driveway permit submitted to CDOT for review and approval.
5. Any fence or wall constructed along or adjacent to any sidewalk or street right-of-way requires a certificate issued by CDOT.
6. To obtain a street and pedestrian lighting recommendation, the petitioner should visit the following link: <https://charlottenc.gov/Transportation/Programs/Pages/StreetLighting.aspx>