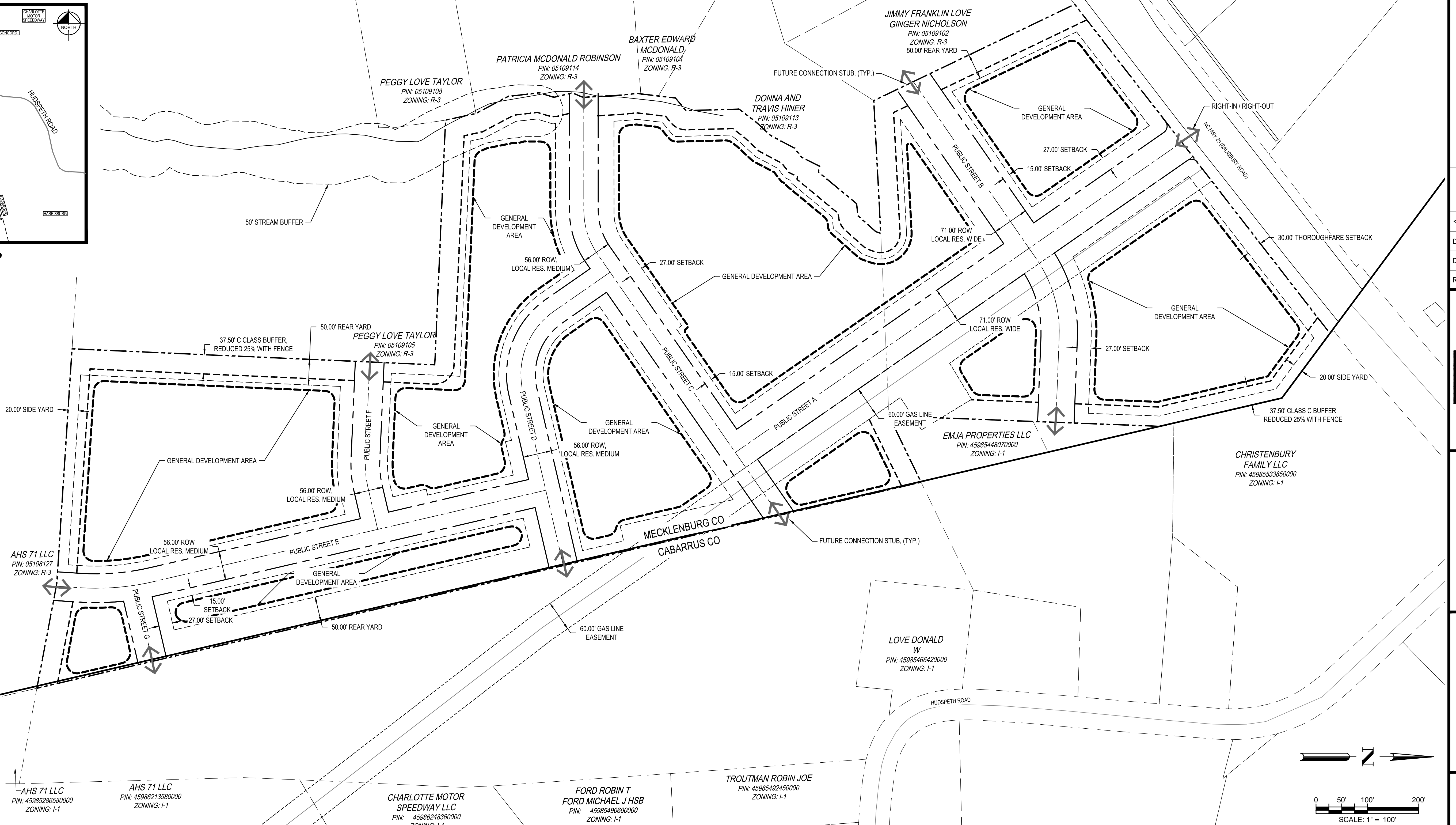


VICINITY MAP
SCALE: NOT TO SCALE



SITE DATA

TOTAL ACREAGE: ± 37.04AC
 PARCEL NUMBERS: 05109101, 05109106
 SITE ADDRESS: 12900 N TRYON STREET, CHARLOTTE, NORTH CAROLINA 28262
 WATERSHED: HULLARD
 EXISTING ZONING: R3 (MECKLENBURG COUNTY)
 EXISTING USES: WOODED/VACANT
 PROPOSED ZONING: R-12 MF (CHARLOTTE)
 PROPOSED USE: SINGLE-FAMILY ATTACHED TOWNHOMES, AND APARTMENTS
 PROPOSED UNITS: 129 TOWNHOME UNITS, 264 APARTMENT UNITS
 MAXIMUM DENSITY: 12.00 DUA
 PROPOSED DENSITY: 10.61 DUA
 MAXIMUM BUILDING HEIGHT: PER ORDINANCE
 BUILDINGS NOT TO EXCEED: 46 BUILDINGS

OPEN SPACE

REQUIRED OPEN SPACE:	PER ORDINANCE
PROVIDED OPEN SPACE:	PER ORDINANCE

SETBACKS

FRONT SETBACK:	15' / 27' PER SECTION 9.303.(19)(F) OF THE ORDINANCE
REAR YARD:	40'
SIDE YARD:	10'

TREE SAVE

REQUIRED TREE SAVE AREA:	5.57 ACRES (15%)
PROPOSED TREE SAVE AREA:	5.57 ACRES (15%)

PARKING

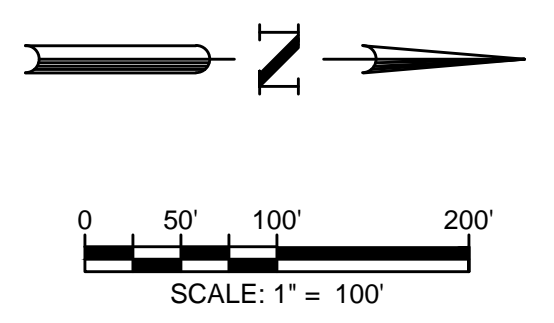
REQUIRED OFF-STREET PARKING:	PER ORDINANCE
PROVIDED OFF-STREET PARKING:	PER ORDINANCE

- I. GENERAL PROVISIONS**
- THESE DEVELOPMENT STANDARDS FORM A PART OF THE REZONING PLAN ASSOCIATED WITH THE REZONING PETITION FILED BY TRIBUTE COMPANIES, INC. (THE "PETITIONER") TO ACCOMMODATE THE DEVELOPMENT OF A RESIDENTIAL COMMUNITY ON THAT APPROXIMATELY 37.14-ACRE SITE LOCATED NEAR THE SOUTHEAST INTERSECTION OF NORTH TRYON STREET AND HUDSPETH ROAD, MORE PARTICULARLY DEPICTED ON THE REZONING PLAN (THE "SITE"). THE SITE IS COMPRISED OF TAX PARCEL NUMBER 051-091-01 AND 051-091-06.
 - DEVELOPMENT OF THE SITE WILL BE GOVERNED BY THE REZONING PLAN, THESE DEVELOPMENT STANDARDS AND THE APPLICABLE PROVISIONS OF THE ZONING ORDINANCE (THE "ORDINANCE").
 - UNLESS THE REZONING PLAN OR THESE DEVELOPMENT STANDARDS ESTABLISH MORE STRINGENT STANDARDS, THE REGULATIONS ESTABLISHED UNDER THE ORDINANCE REZONING FOR THE R-12MF ZONING DISTRICT SHALL GOVERN THE DEVELOPMENT AND USE OF THE SITE.
 - THE DEVELOPMENT AND STREET LAYOUT DEPICTED ON THE REZONING PLAN ARE SCHEMATIC IN NATURE AND ARE INTENDED TO DEPICT THE GENERAL ARRANGEMENT OF SUCH USES AND IMPROVEMENTS ON THE SITE. ACCORDINGLY, THE ULTIMATE LAYOUT, LOCATIONS AND SIZES OF THE DEVELOPMENT AND SITE ELEMENTS DEPICTED ON THE REZONING PLAN ARE GRAPHIC REPRESENTATIONS OF THE PROPOSED DEVELOPMENT AND SITE ELEMENTS, AND THEY MAY BE ALTERED OR MODIFIED IN ACCORDANCE WITH THE SETBACK, YARD, LANDSCAPING AND TREE SAVE REQUIREMENTS SET FORTH ON THIS PLAN AND THE DEVELOPMENT STANDARDS, PROVIDED, HOWEVER, THAT ANY SUCH ALTERATIONS AND MODIFICATIONS SHALL BE MINOR IN NATURE AND NOT MATERIALLY CHANGE THE OVERALL DESIGN INTENT DEPICTED ON THE REZONING PLAN.
 - FUTURE AMENDMENTS TO THE REZONING PLAN AND/OR THESE DEVELOPMENT STANDARDS MAY BE APPLIED FOR BY THE THEN OWNER(S) OF THE SITE IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 6 OF THE ORDINANCE. MINOR ALTERATIONS TO THE REZONING PLAN ARE SUBJECT TO SECTION 6.207 OF THE ORDINANCE.
- II. PERMITTED USES**
- THE SITE MAY BE DEVOTED ONLY TO A RESIDENTIAL COMMUNITY CONTAINING A MAXIMUM OF 129 SINGLE-FAMILY ATTACHED RESIDENTIAL DWELLING UNITS, 264 MULTI-FAMILY RESIDENTIAL DWELLING UNITS, AND ANY INCIDENTAL AND ACCESSORY USES RELATING THERETO THAT ARE PERMITTED IN THE R-12MF ZONING DISTRICT.

- III. TRANSPORTATION & STREETScape**
- VEHICULAR ACCESS TO THE SITE SHALL BE AS GENERALLY DEPICTED ON THE REZONING PLAN. THE PLACEMENT AND CONFIGURATION OF THE VEHICULAR ACCESS POINTS ARE SUBJECT TO ANY MINOR MODIFICATIONS REQUIRED TO ACCOMMODATE FINAL SITE AND CONSTRUCTION PLANS AND DESIGNS AND AS REQUIRED FOR APPROVAL BY THE NORTH CAROLINA/CHARLOTTE DEPARTMENT OF TRANSPORTATION, AS APPLICABLE (NCDOT/CDDT).
 - AS DEPICTED ON THE REZONING PLAN, THE SITE WILL BE SERVED BY INTERNAL PUBLIC AND/OR PRIVATE STREETS, AND MINOR ADJUSTMENTS TO THE LOCATION OF THESE STREETS SHALL BE ALLOWED DURING THE CONSTRUCTION PERMITTING PROCESS IN COORDINATION WITH NCDOT/CDDT.
 - PETITIONER SHALL DEDICATE ALL RIGHTS-OF-WAY WHERE NECESSARY, IN FEE SIMPLE CONVEYANCE TO NCDOT/CITY OF CHARLOTTE, AS APPLICABLE, PRIOR TO THE ISSUANCE OF THE SITE'S FIRST BUILDING CERTIFICATE OF OCCUPANCY.
 - UNLESS STATED OTHERWISE HEREIN, THE PETITIONER SHALL ENSURE THAT ALL TRANSPORTATION IMPROVEMENTS ARE SUBSTANTIALLY COMPLETED PRIOR TO THE ISSUANCE OF THE SITE'S FIRST BUILDING CERTIFICATE OF OCCUPANCY.
- IV. ARCHITECTURAL STANDARDS**
- 1. MULTI-FAMILY RESIDENTIAL STANDARDS:**
- BUILDING MASSING AND HEIGHT SHALL BE DESIGNED TO BREAK UP LONG MONOLITHIC BUILDING FORMS AS FOLLOWS: BUILDING SIDES GREATER THAN 120 FEET IN LENGTH SHALL INCLUDE MODULATIONS OF THE BUILDING MASSING/FAÇADE PLANE (SUCH AS RECESSES, PROJECTIONS, AND ARCHITECTURAL DETAILS). MODULATIONS SHALL BE A MINIMUM OF FIVE (5) FEET WIDE AND SHALL PROJECT OR RECESS A MINIMUM OF ONE (1) FOOT EXTENDING THROUGH AT LEAST A FULL FLOOR.
 - ARCHITECTURAL ELEVATION DESIGN - ELEVATIONS SHALL BE DESIGNED TO CREATE VISUAL INTEREST AS FOLLOWS: BUILDING ELEVATIONS SHALL BE DESIGNED WITH VERTICAL BAYS OR ARTICULATED ARCHITECTURAL FAÇADE FEATURES WHICH MAY INCLUDE BUT NOT BE LIMITED TO A COMBINATION OF EXTERIOR WALL OFFSETS, PROJECTIONS, RECESSES, PILASTERS, BANDING AND CHANGE IN MATERIALS OR COLORS.

- c. RESIDENTIAL ROOF FORM AND ARTICULATION - ROOF FORM AND LINES SHALL BE DESIGNED TO AVOID THE APPEARANCE OF A LARGE MONOLITHIC ROOF STRUCTURE AS FOLLOWS: LONG PITCHED OR FLAT ROOF LINES SHALL AVOID CONTINUOUS EXPANSES WITHOUT VARIATION BY INCLUDING CHANGES IN HEIGHT AND/OR ROOF FORM, TO INCLUDE BUT NOT BE LIMITED TO GABLES, HIP'S DORMERS OR PARAPETS.**
- 2. SINGLE-FAMILY ATTACHED RESIDENTIAL (TOWNHOME) STANDARDS:**
- ROOF OVERHANGS, EAVES, CORNICES, CHIMNEYS, GUTTERS, VENTS, BAY WINDOWS, PILASTERS, PILLARS, OPEN PORCHES (IF PROVIDED), AND OTHER ARCHITECTURAL ELEMENTS MAY PROJECT UP TO TWENTY-FOUR (24) INCHES INTO THE REQUIRED SETBACKS AND YARDS.
 - FOR ALL UNITS, PETITIONER SHALL PROVIDE BLANK WALL PROVISIONS THAT LIMIT THE MAXIMUM BLANK WALL EXPANSE TO TWENTY (20) FEET ON ALL BUILDING LEVELS FACING PUBLIC STREETS, INCLUDING BUT NOT LIMITED TO DOORS, WINDOWS, AWNINGS, MATERIAL OR COLOR CHANGES, AND/OR ENHANCEMENTS.
- 3. THE PETITIONER MAY SUBDIVIDE THE SITE AND CREATE LOTS WITHIN THE SITE WITH NO SIDE OR REAR YARDS AS PART OF A UNIFIED DEVELOPMENT PLAN.**
- V. AMENITIES**
- 1. THE PETITIONER WILL PROVIDE A MINIMUM 0.5-ACRE AMENITY AREA, AS GENERALLY DEPICTED ON THE REZONING PLAN, TO INCLUDE A MINIMUM OF TWO (2) OF THE FOLLOWING AMENITIES: POOL, CLUBHOUSE, MAIL KIOSK, PACKAGE ROOM, GRILLS, COMMUNITY GARDEN, SEATING AREA, GYM, CABANA, DOG PARK, PICNIC TABLES, BENCHES, AND/OR ENHANCED LANDSCAPING.**
- VI. ENVIRONMENTAL FEATURES**
- 1. THE PETITIONER SHALL COMPLY WITH THE POST CONSTRUCTION STORMWATER ORDINANCE, THE LOCATION, SIZE, AND TYPE OF STORM WATER MANAGEMENT SYSTEMS DEPICTED ON THE REZONING PLAN ARE SUBJECT TO REVIEW AND APPROVAL AS PART OF THE FULL DEVELOPMENT PLAN SUBMITTAL AND ARE NOT IMPLICITLY APPROVED WITH THIS REZONING. ADJUSTMENTS MAY BE NECESSARY IN ORDER TO ACCOMMODATE ACTUAL STORM WATER TREATMENT REQUIREMENTS AND NATURAL SITE DISCHARGE POINTS**

- 2. THE PETITIONER SHALL COMPLY WITH THE TREE ORDINANCE.**
- VII. LIGHTING**
- 1. ALL FREESTANDING LIGHTING FIXTURES INSTALLED ON THE SITE GREATER THAN TWENTY-ONE (21) FEET IN TOTAL HEIGHT (I.E., EXCLUDING DECORATIVE LIGHTING LESS THAN 2' IN HEIGHT THAT MAY BE INSTALLED ALONG THE DRIVEWAYS AND SIDEWALKS AS PEDESTRIAN/LANDSCAPING LIGHTING) SHALL BE FULLY CAPPED AND SHIELDED AND THE ILLUMINATION DOWNWARDLY DIRECTED.**
- VIII. BINDING EFFECT OF THE REZONING DOCUMENTS AND DEFINITIONS**
- IF THIS REZONING PETITION IS APPROVED, ALL CONDITIONS APPLICABLE TO DEVELOPMENT OF THE SITE IMPOSED UNDER THE REZONING PLAN AND THESE DEVELOPMENT STANDARDS WILL, UNLESS AMENDED IN THE MANNER PROVIDED UNDER THE ORDINANCE, BE BINDING UPON AND INURE TO THE BENEFIT OF THE PETITIONER AND SUBSEQUENT OWNERS OF THE SITE AND THEIR RESPECTIVE SUCCESSORS IN INTEREST AND ASSIGNS. THROUGHOUT THESE DEVELOPMENT STANDARDS, THE TERMS, "PETITIONER" AND "OWNER" OR "OWNERS" SHALL BE DEEMED TO INCLUDE THE HEIRS, DEVISEES, PERSONAL REPRESENTATIVES, SUCCESSORS IN INTEREST AND ASSIGNS OF THE PETITIONER OR THE OWNER OR OWNERS OF ANY PART OF THE SITE FROM TIME TO TIME WHO MAY BE INVOLVED IN ANY FUTURE DEVELOPMENT THEREOF.



DESIGNED BY:	WSM
DRAWN BY:	WSM
REVIEWED BY:	AG

1111 METROPOLITAN AVE., SUITE 250
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 NC LICENSE #C-4397

TRIBUTE COMPANIES, INC.
 10 S. CARDINAL DRIVE
 WILMINGTON, NC 28403

HUDSPETH
 12900 N TRYON STREET
 CHARLOTTE, NORTH CAROLINA 28262

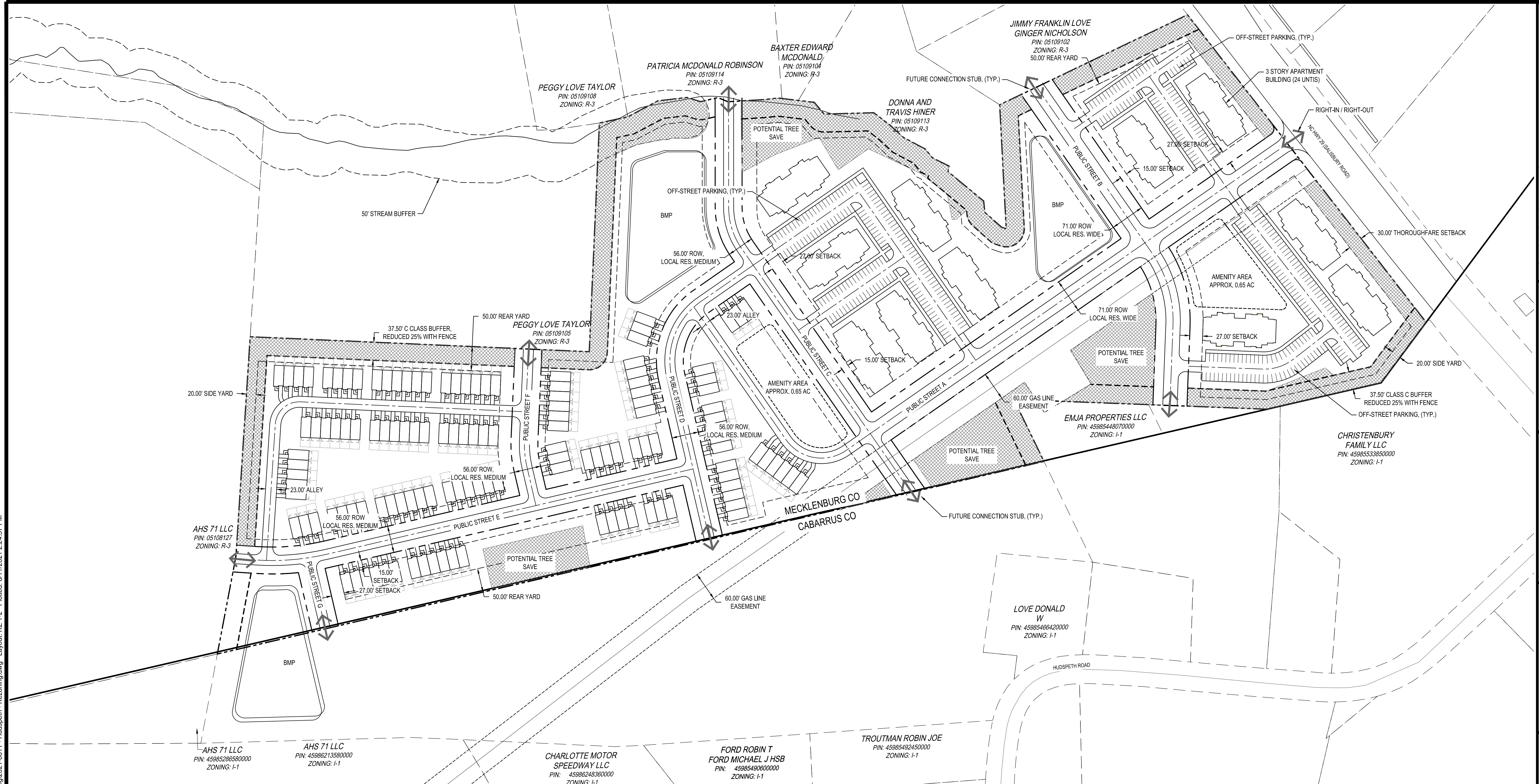
REZONING PETITION #2021-XXX
 REZONING PLAN AND
 TECHNICAL DATA SHEET

NOT FOR CONSTRUCTION
 FILE NUMBER:
 8327-00
 DATE: 06/11/2021
 RZ 1-1

Know what's below.
 Call before you dig.

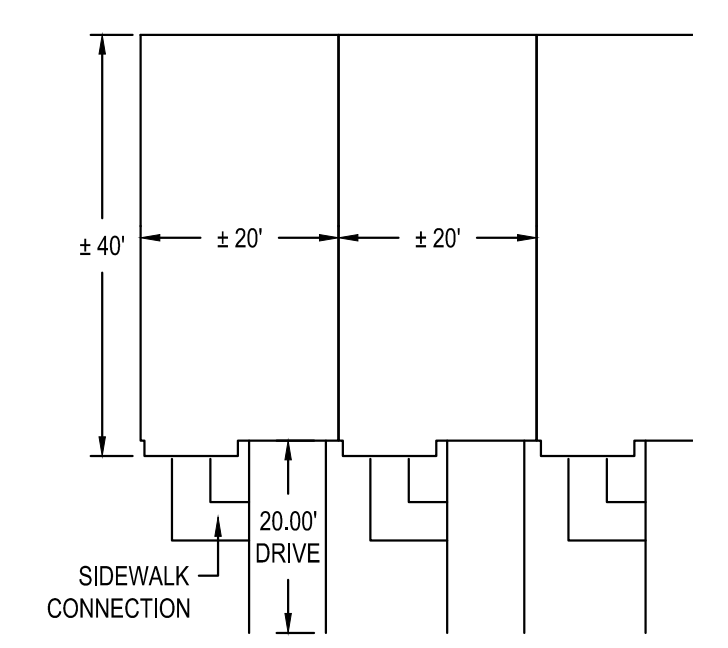
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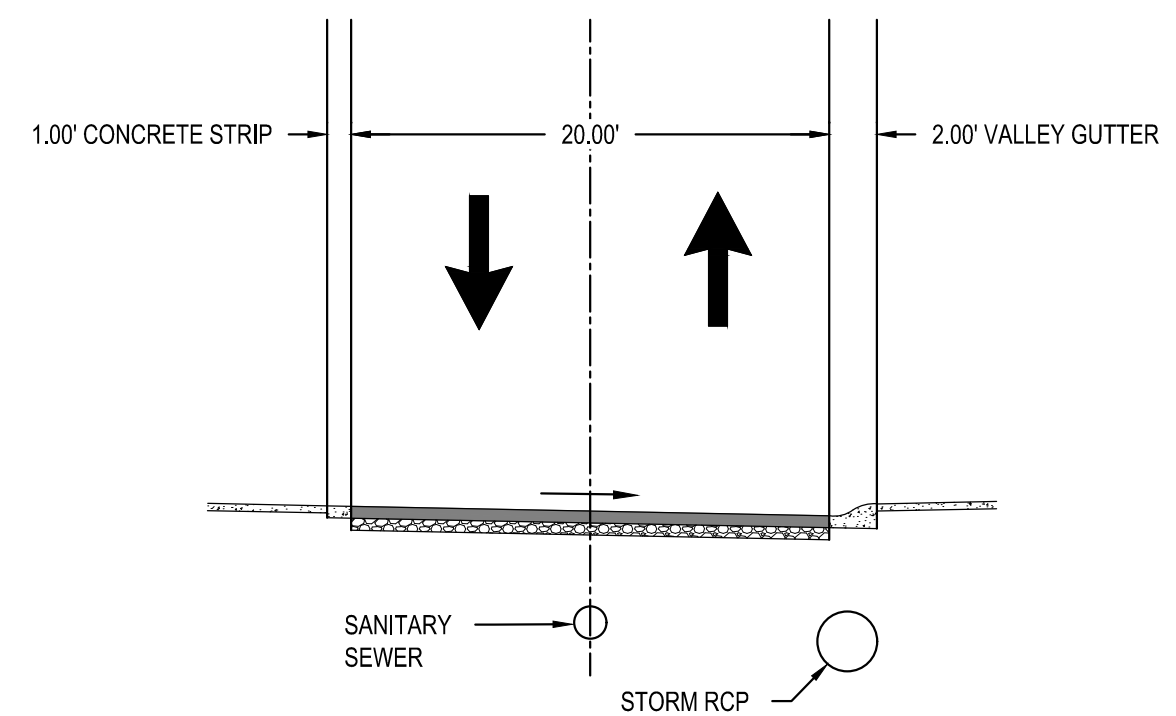


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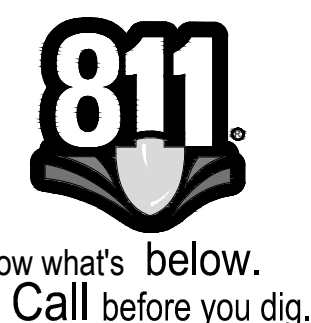
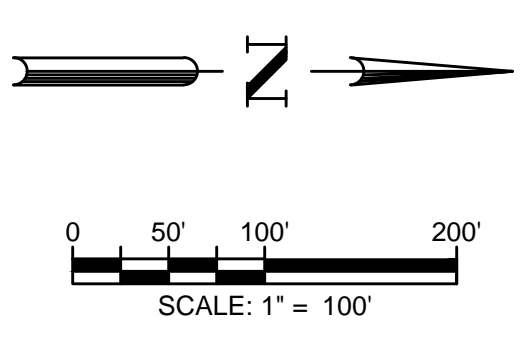
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 SIDE YARD: 10'
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 PROPOSED TREE SAVE AREA: 5.57 ACRES (15%)
 PARKING
 REQUIRED OFF-STREET PARKING: PER ORDINANCE
 PROVIDED OFF-STREET PARKING: PER ORDINANCE



TYPICAL TOWNHOME UNIT LAYOUT
 SCALE: NOT TO SCALE



TYPICAL ALLEY
 SCALE: NOT TO SCALE



REV	DATE	DESCRIPTION
DESIGNED BY:	WSM	
DRAWN BY:	WSM	
REVIEWED BY:	AG	

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 12900 N TRYON STREET
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**REZONING PETITION #2021-XXX
 SCHEMATIC SITE PLAN**

NOT FOR CONSTRUCTION
 FILE NUMBER:
 8327-00
 DATE: 06/11/2021

RZ 1-2