



NOT TO SCALE (

PARCEL ZONING MAP

2% 2% 1.5" S-9.5B ALLEY WITH NORMAL CROWN 1.5" S-9.5B 2% 2% COMPACTED SUBGRADE ALLEY WITH INVERSE CROWN 1. SUBGRADE SHALL BE COMPACTED TO PUBLIC STREET STANDARDS. 2. STORM DRAINAGE (NOT SHOWN) SHALL BE PROVIDED AS NECESSARY. 3. ALLEYS SHALL BE CONSIDERED PRIVATE EASEMENTS AND WILL NOT BE ACCEPTED FOR MAINTENANCE BY THE CITY OF CHARLOTTE. DRIVEWAYS SHALL BE SEPARATED BY AT LEAST 5 FEET, OR GREATER IF REQUIRED BY PLANNING (LOT SIZE) REQUIREMENTS AND/OR N.C. BUILDING CODE. 5. MINIMUM 20' WIDE PAYEMENT REQUIRED IF ALLEY IS TO BE CONSIDERED A "FIRE APPARATUS ACCESS ROAD" PER NC FIRE CODE. \* WITH NO PARKING PAD, DIMENSION D3 IS REQUIRED TO BE MINIMUM 5' BUT NO GREATER THAN 7'. WITH PARKING PAD, DIMENSION D4 IS REQUIRED TO BE A MINIMUM OF 20'. CITY OF CHARLOTTE RESIDENTIAL ALLEY DETAIL DOUBLE LOADED W/ TWO-WAY OPERATION (STD. NO. IREV. 11 19817)

### **DEVELOPMENT SUMMARY:**

**OWNER ADDRESS:** 3100 CAMBRIDGE RD., CHARLOTTE, NC 28209

**DEVELOPER NAME:** LISCHERONG DEVELOPMENT GROUP

**DEVELOPER ADDRESS:** 3100 CAMBRIDGE ROAD, CHARLOTTE, NC 28209

TOTAL PARCEL SIZE: 0.919 ACRES (BASED ON SURVEY)

**EXISTING USE:** SINGLE FAMILY RESIDENTIAL

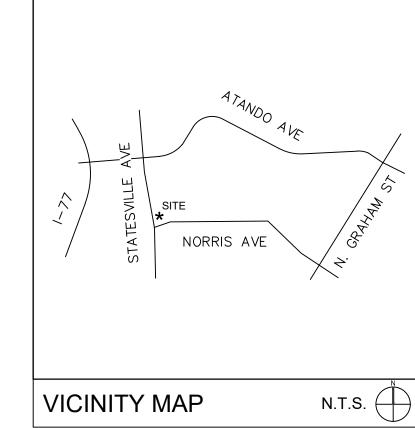
PROPOSED USES: SINGLE FAMILY ATTACHED DWELLING UNITS (TOWNHOME)

REQUIRED OPEN SPACE: 400 SF PER SUBLOT, OR 10% OF DEVELOPMENT AREA PROPOSED OPEN SPACE: MIN. 10% OF DEVELOPMENT AREA

## MINIMUM FRONT SETBACK: 14' FROM FUTURE BACK OF CURB

MAXIMUM FLOOR AREA RATIO: 1.0 MINIMUM LOT WIDTH: 16' MAXIMUM BUILDING HEIGHT: 50'

> PROPOSED DEVELOPMENT: PROPOSED LOT TOTAL: 21 UNITS



SURVEY DISCLAIMER SURVEY DATED DECEMEBER 11, 2019 PROVIDED BY CAROLINA SURVEYORS, INC. P.O. BOX 267, PINEVILLE, NC, 28134

May 19th, 2021

- 1. THESE DEVELOPMENT STANDARDS FORM A PART OF THE REZONING PLAN ASSOCIATED WITH THE REZONING PETITION FILED BY LEH NC STATESVILLE, LLC (THE "PETITIONER") TO ACCOMMODATE THE DEVELOPMENT OF A SINGLE-FAMILY ATTACHED (TOWNHOME) RESIDENTIAL COMMUNITY ON THAT APPROXIMATELY 0.91-ACRE SITE LOCATED AT THE NORTHWEST INTERSECTION OF STATESVILLE AVENUE AND NORRIS AVENUE, AS MORE PARTICULARLY DEPICTED ON THE REZONING PLAN (THE "SITE"). THE SITE IS COMPRISED OF TAX PARCEL NUMBERS 077-077-22, 077-077-23, 077-077-24, AND 077-077-25.
- 2. DEVELOPMENT OF THE SITE WILL BE GOVERNED BY THE REZONING PLAN, THESE DEVELOPMENT STANDARDS AND THE APPLICABLE PROVISIONS OF THE CITY OF CHARLOTTE ZONING ORDINANCE (THE "ORDINANCE").
- 3. UNLESS THE REZONING PLAN OR THESE DEVELOPMENT STANDARDS ESTABLISH MORE STRINGENT STANDARDS, THE REGULATIONS ESTABLISHED UNDER THE ORDINANCE FOR THE UR-2 ZONING DISTRICT SHALL GOVERN THE DEVELOPMENT AND USE OF THE SITE.
- 4. THE DEVELOPMENT AND STREET LAYOUT DEPICTED ON THE REZONING PLAN ARE SCHEMATIC IN NATURE AND ARE INTENDED TO DEPICT THE GENERAL ARRANGEMENT OF SUCH USES AND IMPROVEMENTS ON THE SITE. ACCORDINGLY, THE ULTIMATE LAYOUT, LOCATIONS AND SIZES OF THE DEVELOPMENT AND SITE ELEMENTS DEPICTED ON THE REZONING PLAN ARE GRAPHIC REPRESENTATIONS OF THE PROPOSED DEVELOPMENT AND SITE ELEMENTS, AND THEY MAY BE ALTERED OR MODIFIED IN ACCORDANCE WITH THE SETBACK, YARD, LANDSCAPING AND TREE SAVE REQUIREMENTS SET FORTH ON THIS REZONING PLAN AND THE DEVELOPMENT STANDARDS, PROVIDED,
- IN NATURE AND NOT MATERIALLY CHANGE THE OVERALL DESIGN INTENT DEPICTED ON THE REZONING PLAN. 5. FUTURE AMENDMENTS TO THE REZONING PLAN AND/OR THESE DEVELOPMENT STANDARDS MAY BE APPLIED FOR BY THE THEN OWNER(S) OF THE SITE IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 6 OF THE ORDINANCE. MINOR ALTERATIONS TO THE REZONING PLAN ARE SUBJECT TO SECTION 6.207 OF THE ORDINANCE.

HOWEVER, THAT ANY SUCH ALTERATIONS AND MODIFICATIONS SHALL BE MINOR

## THE SITE MAY BE DEVOTED ONLY TO A RESIDENTIAL COMMUNITY CONTAINING A

MAXIMUM OF TWENTY-ONE (21) SINGLE-FAMILY ATTACHED DWELLING UNITS AND ANY INCIDENTAL AND ACCESSORY USES RELATING THERETO THAT ARE PERMITTED BY-RIGHT OR UNDER PRESCRIBED CONDITIONS IN THE UR-2 ZONING

### III. TRANSPORTATION 1. AS DEPICTED ON THE REZONING PLAN, THE SITE WILL BE SERVED BY AN

INTERNAL PRIVATE DRIVE AND ALLEYS, AND MINOR ADJUSTMENTS TO THE LOCATION OF THE INTERNAL DRIVE AND/OR ALLEYS SHALL BE ALLOWED DURING THE CONSTRUCTION PERMITTING PROCESS.

- 2. A MAXIMUM OF ONE (1) ACCESS POINT SHALL BE PROVIDED ALONG NORRIS AVENUE, AS GENERALLY DEPICTED ON THE REZONING PLAN. NO VEHICULAR ACCESS INTO THE SITE IS PROPOSED FROM STATESVILLE AVENUE 3. THE PETITIONER SHALL DEDICATE ALL NECESSARY RIGHTS-OF-WAY IN FEE
- SIMPLE CONVEYANCE TO THE CITY OF CHARLOTTE BEFORE THE SITE'S FIRST BUILDING CERTIFICATE OF OCCUPANCY IS ISSUED. 4. UNLESS STATED OTHERWISE HEREIN, THE PETITIONER SHALL ENSURE THAT ALL TRANSPORTATION IMPROVEMENTS ARE SUBSTANTIALLY COMPLETED PRIOR TO THE ISSUANCE OF THE SITE'S FIRST BUILDING CERTIFICATE OF OCCUPANCY.

## IV. ARCHITECTURAL STANDARDS

1. PREFERRED EXTERIOR BUILDING MATERIALS: ALL PRINCIPAL AND ACCESSORY BUILDINGS SHALL BE COMPRISED OF A COMBINATION OF PORTIONS OF BRICK, NATURAL STONE (OR ITS SYNTHETIC EQUIVALENT), STUCCO, CEMENTITIOUS SIDING, FIBER CEMENT ("HARDIPLANK") AND/OR OTHER MATERIALS APPROVED BY THE PLANNING DIRECTOR.

- 2. PROHIBITED EXTERIOR BUILDING MATERIALS: (I) VINYL SIDING, EXCLUDING VINYL HANDRAILS, WINDOWS, SOFFITS, DOORS OR DOOR TRIM, AND (II) CONCRETE MASONRY UNITS NOT ARCHITECTURALLY FINISHED. 3. PITCHED ROOFS, IF PROVIDED, SHALL BE SYMMETRICALLY SLOPED NO LESS THAN 4:12, EXCEPT THAT ROOFS FOR PORCHES AND ATTACHED SHEDS MAY BE
- NO LESS THAN 2:12, UNLESS A FLAT ROOF ARCHITECTURAL STYLE IS EMPLOYED. 4. USABLE STOOPS SHALL FORM A PREDOMINANT FEATURE OF THE BUILDING DESIGN FOR UNITS FRONTING STATESVILLE AVENUE, AND SHALL BE LOCATED ON THE FRONT AND/OR SIDE OF THE BUILDING. STOOPS MAY BE COVERED BUT
- SHALL NOT BE ENCLOSED. THERE SHALL BE NO MINIMUM STOOP DIMENSION. 5. ALL CORNER/END UNITS THAT FACE STATESVILLE AVENUE AND NORRIS AVENUE SHALL EITHER HAVE A PORCH/STOOP THAT WRAPS A PORTION OF THE FRONT AND SIDE OF THE UNIT OR PROVIDE BLANK WALL PROVISIONS THAT LIMIT THE MAXIMUM BLANK WALL EXPANSE TO A MAXIMUM OF TEN (10) FEET ON ALL
- BUILDING LEVELS. 6. WALKWAYS SHALL BE PROVIDED TO CONNECT ALL RESIDENTIAL ENTRANCES TO SIDEWALKS ALONG PUBLIC OR PRIVATE STREETS. 7. ATTACHED DWELLING UNITS SHALL BE LIMITED TO A MAXIMUM OF SIX (6) UNITS
- PER BUILDING OR FEWER WHEN FRONTING A PUBLIC STREET. 8. DRIVEWAY LENGTHS SHALL EITHER BE BETWEEN FIVE (5) AND SEVEN (7) FEET IN LENGTH OR A MINIMUM OF TWENTY (20) FEET IN LENGTH.

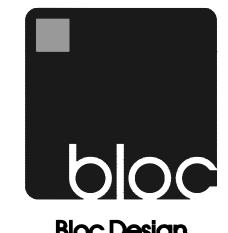
# V. ENVIRONMENTAL FEATURES

1. THE PETITIONER SHALL COMPLY WITH THE CHARLOTTE CITY COUNCIL APPROVED AND ADOPTED POST CONSTRUCTION STORMWATER ORDINANCE. THE LOCATION, SIZE, AND TYPE OF STORMWATER MANAGEMENT SYSTEMS DEPICTED ON THE REZONING PLAN ARE SUBJECT TO REVIEW AND APPROVAL AS PART OF THE FULL DEVELOPMENT PLAN SUBMITTAL AND ARE NOT IMPLICITLY APPROVED WITH THIS REZONING. ADJUSTMENTS MAY BE NECESSARY IN ORDER TO ACCOMMODATE ACTUAL STORM WATER TREATMENT REQUIREMENTS AND NATURAL SITE DISCHARGE POINTS. 2. THE PETITIONER SHALL COMPLY WITH THE TREE ORDINANCE.

ALL FREESTANDING LIGHTING FIXTURES INSTALLED ON THE SITE GREATER THAN TWENTY-ONE (21) FEET IN TOTAL HEIGHT (I.E., EXCLUDING DECORATIVE LIGHTING LESS THAN 21' IN HEIGHT THAT MAY BE INSTALLED ALONG THE DRIVEWAYS AND SIDEWALKS AS PEDESTRIAN/LANDSCAPING LIGHTING) SHALL BE FULLY CAPPED AND SHIELDED AND THE ILLUMINATION DOWNWARDLY DIRECTED SO THAT DIRECT ILLUMINATION DOES NOT EXTEND PAST ANY PROPERTY LINE OF THE SITE.

VII. BINDING EFFECT OF THE REZONING DOCUMENTS AND DEFINITIONS IF THIS REZONING PETITION IS APPROVED, ALL CONDITIONS APPLICABLE TO DEVELOPMENT OF THE SITE IMPOSED UNDER THE REZONING PLAN AND THESE DEVELOPMENT STANDARDS WILL, UNLESS AMENDED IN THE MANNER PROVIDED UNDER THE ORDINANCE, BE BINDING UPON AND INURE TO THE BENEFIT OF THE PETITIONER AND SUBSEQUENT OWNERS OF THE SITE AND THEIR RESPECTIVE SUCCESSORS IN INTEREST AND ASSIGNS.

THROUGHOUT THESE DEVELOPMENT STANDARDS, THE TERMS, "PETITIONER" AND "OWNER" OR "OWNERS" SHALL BE DEEMED TO INCLUDE THE HEIRS, DEVISEES, PERSONAL REPRESENTATIVES, SUCCESSORS IN INTEREST AND ASSIGNS OF THE PETITIONER OR THE OWNER OR OWNERS OF ANY PART OF THE SITE FROM TIME TO TIME WHO MAY BE INVOLVED IN ANY FUTURE DEVELOPMENT THEREOF.



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landscape architecture I planning I civil engineering

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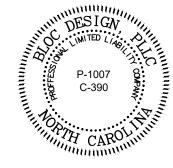
### Lischerong **Development Group**

310 Arlington Ave Suite #402-A Charlotte, NC 28203 704-750-0368 lischerongdevelopment.com



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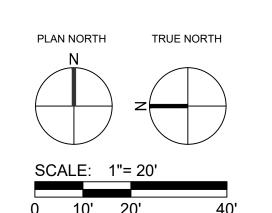
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**REZONING PETITION 2021-XXX** 

Statesville and Norris **Townhomes Development** 

> 2700 Statesville Avenue Charlotte, NC 28206



DATE: 06/07/21	MPIC: WLL
DRAWN BY: LWH	CHECKED BY: WLL
PROJECT NUMBER: 00858.00	

CONCEPTUAL SITE PLAN