

MQC1, LLC

REVISIONS

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COMMENT

NORTH END DEPOT

STATESVILLE AVENUE & KOHLER AVENUE CHARLOTTE, NC 28206 MECKLENBURG COUNTY

BOHLER // BOHLER ENGINEERING NC, PLLC

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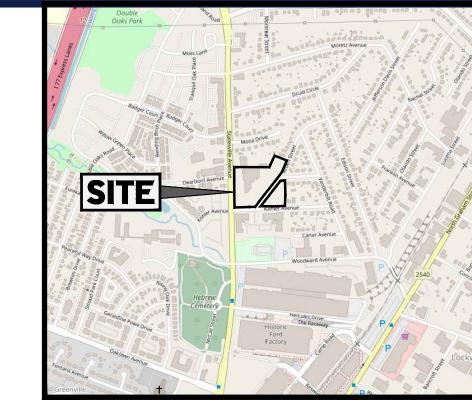


SHEET TITLE:

TECHNICAL DATA SHEET

RZ-1

ORG. DATE - 3/10/21



VICINITY MAP

SITE DEVELOPMENT DATA:

ACREAGE: ± 5.19 ACRES

TAX PARCEL # 07904622, 07904826, 07904828, 07904852, 07904853, 07904854, PORTION OF 07904822

EXISTING ZONING: R-22 MF, R-5, B-2, I-1(CD)

EXISTING USES: VACANT

PROPOSED USES: RETAIL, MULTI-FAMILY AS PERMITTED BY RIGHT, AND UNDER PRESCRIBED CONDITIONS TOGETHER WITH ACCESSORY USES, AS ALLOWED IN THE MUDD ZONING DISTRICT (ALL AS MORE SPECIFICALLY DESCRIBED BELOW).

PROPOSED SITE PLAN NOTES

MAXIMUM NUMBER OF RESIDENTIAL DWELLING UNITS: APPROXIMATELY 200 RESIDENTIAL UNITS, AS ALLOWED BY RIGHT AND UNDER PRESCRIBED CONDITIONS IN THE MUDD'S ZONING DISTRICT.

MAXIMUM SQUARE FOOTAGE OF NON-RESIDENTIAL USES: 15,000 SQUARE FEET

MAXIMUM BUILDING HEIGHT: UP TO 5 STORIES AND 70 FEET. BUILDING HEIGHT TO BE MEASURED PER THE ORDINANCE. UP TO 120' ALLOWED IN MUDD ZONING.

PARKING: AS REQUIRED BY THE ORDINANCE.

1. GENERAL PROVISIONS:

- (a) SITE LOCATION. THOSE DEVELOPMENT STANDARDS, THE TECHNICAL DATA SHEET, AND OTHER SHEETS THAT FORM THIS REZONING PLAN (COLLECTIVELY REFERRED TO AS THE "REZONING PLAN") ASSOCIATED WITH THE REZONING PETITION FILED BY MQC1, LLC ("PETITIONER") TO ACCOMMODATE THE DEVELOPMENT OF A MIXED USE DEVELOPMENT ON AN APPROXIMATE 5.19 ACRE SITE LOCATED AT 2300 STATESVILLE AVENUE (THE "SITE").
- (b) ZONING DISTRICT/ORDINANCE. DEVELOPMENT OF THE SITE WILL BE GOVERNED BY THE REZONING PLAN AS WELL AS THE APPLICABLE PROVISIONS OF THE CITY OF CHARLOTTE ZONING ORDINANCE (THE "ORDINANCE"). UNLESS THE REZONING PLAN ESTABLISHES MORE STRINGENT STANDARDS, THE REGULATIONS ESTABLISHED UNDER THE ORDINANCE FOR THE MUDD ZONING CLASSIFICATION SHALL GOVERN ALL DEVELOPMENT TAKING PLACE ON THIS SITE.
- (c) SCHEMATIC AND DEVELOPMENT SITE ELEMENTS. THE SCHEMATIC DEPICTIONS OF THE USES, PARKING AREAS, SIDEWALKS, STRUCTURES, BUILDINGS AND BUILDINGS LOCATIONS, ELEVATIONS, DRIVEWAYS, STREETS, PERMISSIBLE BUILDING AREAS AND OTHER DEVELOPMENT MATTERS AND SITE ELEMENTS SET FORTH IN THE REZONING PLAN (COLLECTIVELY, THE "DEVELOPMENT/ SITE ELEMENTS") SHOULD BE REVIEWED IN CONJUNCTION WITH THE PROVISIONS OF THE DEVELOPMENT STANDARDS. THE LAYOU LOCATIONS, SIZES AND FORMATIONS OF DEVELOPMENT/SITE ELEMENTS DEPICTED ON THE REZONING PLAN ARE GRAPHIC REPRESENTATIONS OF THE DEVELOPMENT/SITE ELEMENTS PROPOSED. CHANGES TO THE REZONING PLAN NOT ANTICIPATED BY THE REZONING PLAN WILL BE REVIEWED AND APPROVED AS ALLOWED UNDER THE ORDINANCE.
- (d) SINCE THE PROJECT HAS NOT UNDERGONE THE DESIGN. DEVELOPMENT AND CONSTRUCTION PHASES. IT IS INTENDED THAT THE REZONING PLAN PROVIDE FOR FLEXIBILITY IN ALLOWING SOME ALTERATIONS OR MODIFICATIONS FROM THE DEVELOPMENT/SITE ELEMENTS. THEREFORE THERE MAY BE INSTANCES WHERE MINOR MODIFICATIONS WILL BE ALLOWED WITHOUT REQUIRING THE ADMINISTRATIVE AMENDMENT PROCESS PER SECTION 6.207 OF THE ORDINANCE. THESE INSTANCES WOULD INCLUDE CHANGES TO GRAPHICS IF THEY ARE MINOR OR DETERMINED NOT TO MATERIALLY CHANGE THE OVERALL DESIGN OR INTENT OF THE REZONING PLAN.
- (e) THE PLANNING DIRECTOR SHALL HAVE THE RIGHT TO DETERMINE WHETHER OR NOT AMENDMENTS TO THE REZONING PLAN MEET THE ABOVE-REFERENCED CRITERIA. IF NOT, THE PETITIONER SHALL THEN FOLLOW THE ADMINISTRATIVE AMENDMENT PROCESS PER SECTION 6.207 OF THE ORDINANCE.
- 2. THE NUMBER OF BUILDINGS, PRINCIPAL AND ACCESSORY:

THE TOTAL NUMBER OF PRINCIPAL BUILDINGS TO BE DEVELOPED ON THE SITE ARE SHOWN IN THE PROPOSED BUILDING ENVELOPES AND WILL BE LIMITED TO 3 BUILDINGS. ACCESSORY BUILDINGS AND STRUCTURES LOCATED AT THE SITE SHALL NOT BE CONSIDERED IN ANY LIMITATION ON THE NUMBER OF BUILDINGS ON THE SITE. ACCESSORY BUILDINGS AND STRUCTURES WILL BE CONSTRUED UTILIZING SIMILAR BUILDING MATERIALS, COLORS, ARCHITECTURAL ELEMENTS AND DESIGNS AS THE PRINCIPAL BUILDING (AS LOCATED WITHIN THE SAME DEVELOPMENT AREA) AS THE ACCESSORY STRUCTURE/BUILDING.

PERMITTED USES, DEVELOPMENT AREA LIMITATIONS:

THE PRINCIPAL BUILDINGS CONSTRUCTED ON THE SITE MAY BE DEVELOPED WITH APPROXIMATELY 200 MULTI-FAMILY RESIDENTIAL DWELLING UNITS AS PERMITTED BY RIGHT UNDER THE PRESCRIBED CONDITIONS TOGETHER WITH ACCESSORY USES ALLOWED IN THE MUDD ZONING DISTRICT. A RETAIL USE IS PROPOSED WITHIN THE MULTI-FAMILY DEVELOPMENT ON A PARCEL ADJACENT TO STATESVILLE AVE. THE RETAIL USE ON THE SITE WILL CONTAIN APPROXIMATELY 10,000 SF AND WILL BE DEVELOPED AS PERMITTED BY RIGHT USE UNDER PRESCRIBED CONDITIONS TOGETHER WITH ALLOWED USES IN THE MUDD ZONING DISTRICT.

4. SITE DEVELOPMENT IMPROVEMENTS AND ACCESS:

- (a) THE PETITIONER WILL CONSTRUCT THE REQUIRED ROADWAY IMPROVEMENTS AND PROVIDE ANY REQUIRED SIDEWALK AND UTILITY EASEMENTS NEEDED FOR THESE IMPROVEMENTS PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. PETITIONER RESERVES THE RIGHT TO POST A BOND FOR ANY ROADWAY IMPROVEMENTS NOT FINALIZED AT THE TIME OF THE ISSUANCE OF THIS CERTIFICATE OF OCCUPANCY AS ALLOWED BY THE CITY REGULATIONS.
- (b) CDOT/NCDOT STANDARDS. ALL THE FOREGOING PUBLIC ROADWAY IMPROVEMENTS WILL BE SUBJECT TO THE STANDARDS AND CRITERIA OF CDOT/NCDOT AS APPLICABLE.
- (c) ACCESS TO THE SITE WILL BE FROM STATESVILLE AVENUE, BY WAY OF A PRIVATE DRIVE ENTRY. PETITIONER INTENDS TO PROVIDE A PRIVATE ALLEY/ROAD. VEHICULAR ACCESS SHALL BE AS GENERALLY DEPICTED ON THE TECHNICAL DATA SHEET. THE PLACEMENT AND CONFIGURATION OF THE ACCESS POINTS ARE SUBJECT TO ANY MINOR MODIFICATIONS REQUIRED TO ACCOMODATE FINAL SITE AND CONSTRUCTION PLANS AND DESIGNS, AND TO ANY ADJUSTMENTS REQUIRED FOR APPROVAL BY
- (d) ALL PUBLIC ROADWAY IMPROVEMENTS WILL BE SUBJECT TO THE STANDARDS AND CRITERIA REQUIRED BY THE TIA, CDOT, AND NCDOT, AS APPLICABLE, TO THE ROADWAY IMPROVEMENTS WITHIN THEIR RESPECTIVE ROAD AUTHORITY.
- (e) THE PETITIONER WILL CONSTRUCT SIDEWALK IMPROVEMENTS AS GENERALLY DEPICTED ON THE REZONING PLAN, AS REQUIRED BY CDOT/NCDOT.
- (f) THE PETITIONER WILL DEDICATE FEE SIMPLE CONVEYANCE OF ANY REQUIRED RIGHT OF WAY INDICATED IN THE REZONING PLAN AS RIGHT-OF-WAY TO BE DEDICATED, THE ADDITIONAL RIGHT-OF-WAY WILL BE DEDICATED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

- (g) THE ALIGNMENT OF ANY VEHICULAR CIRCULATION AND DRIVEWAYS MAY BE MODIFIED BY THE PETITIONER TO ACCOMMODATE CHANGES IN TRAFFIC PATTERNS, PARKING LAYOUTS AND ANY ADJUSTMENTS REQUIRED FOR APPROVAL BY THE CHARLOTTE DEPARTMENT OF TRANSPORTATION ("CDOT") IN ACCORDANCE WITH PUBLISHED STANDARDS SO LONG AS STREET NETWORKS SET FORTH ON THE REZONING PLAN IS NOT MATERIALLY ALTERED.
- (i) THE PETITIONER RESERVES THE RIGHT TO INSTALL SECURITY FENCING AND GATES AROUND THE
- (j) THE PETITIONER RESERVES THE RIGHT TO PROVIDE INTER-CONNECTED VEHICULAR AND PEDESTRIAN ACCESS ACROSS PROPERTY LINES TO THE FUTURE DEVELOPMENT ON ADJACENT PROPERTIES, AS LONG AS THEY ARE OWNED BY THE SAME OWNER.
- (k) ANY REQUIRED ROADWAY IMPROVEMENTS WILL BE APPROVED AND CONSTRUCTED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY SUBJECT TO PETITIONER'S ABILITY TO REQUEST CDOT TO ALLOW A BOND TO BE POSTED FOR ANY IMPROVEMENTS NOT IN PLACE AT THE TIME OF THE
- (a) A 14' BUILDING SETBACK IS MEASURED FROM THE PROPOSED BACK OF CURB ALONG STATESVILLE
- (b) A 6' FOOT PLANTING STRIP AND A 6' FOOT SIDEWALK WILL BE ESTABLISHED ALONG ARDEN STREET AS
- (c) BUFFER REQUIREMENTS FOR THE MUDD AND/OR ADJACENT B-2 PARCEL IS SUBJECT TO MODIFICATION
- (a) THE BUILDING MATERIALS USED ON THE PHYSICAL BUILDINGS CONSTRUCTED ON THE SITE WILL BE A COMBINATION OF PORTIONS OF THE FOLLOWING: BRICK, STONE, PRECAST STONE, PRECAST CONCRETE, SYNTHETIC STONE, CEMENTITIOUS FIBER BOARD, STUCCO, EIFS, DECORATIVE BLOCK OR OTHER WOOD DEFINED AS THE "PREFERRED BUILDING MATERIALS." VINYL OR ALUMINUM AS A BUILDING MATERIAL MAY ONLY BE USED FOR WINDOWS, SOFFITS AND ON HANDRAILS/RAILINGS. CONCRETE MASONRY UNITS NOT ARCHITECTURALLY FINISHED WILL NOT BE ALLOWED. THE RAILINGS UTILIZED ON THE BALCONIES AND PATIOS MUST BE METAL RAILINGS.
- (b) THE PROPOSED BUILDING WILL BE DESIGNED AND CONSTRUCTED SO THAT EACH BUILDING ELEVATION THAT ABUTS/FACE AN EXISTING OR PROPOSED PUBLIC STREET WILL HAVE AT LEAST 30% ADHERING TO NEW MULTIFAMILY DESIGN GUIDELINES MASONRY MATERIALS (E.G. BRICK, NATURAL STONE (OR ITS SYNTHETIC EQUIVALENT), PRECAST STONE, PRECAST CONCRETE) EXCLUSIVE OF WINDOWS, DOORS AND ROOFS.
- (c) BUILDING PLACEMENT AND SITE DESIGN WILL FOCUS ON AND ENHANCE THE PEDESTRIAN ENVIRONMENT.
- (d) ARCHITECTURAL ELEVATION DESIGN ELEVATION SHOULD BE DESIGNED TO CREATE VISUAL INTEREST
- (i) BUILDING ELEVATION SHALL BE DESIGNED WITH VERTICAL BAYS OR ARTICULATED ARCHITECTURAL FAÇADE FEATURES WHICH MAY INCLUDE BUT NOT BE LIMITED TO A COMBINATION OF EXTERIOR WALL OFFSETS, PROJECTIONS, RECESSES, PILASTERS, BANDING AND CHANGE IN MATERIALS OR COLORS.
- (ii) BUILDINGS SHALL BE DESIGNED WITH RECOGNIZABLE ARCHITECTURAL BASE ON ALL FAÇADES FACING NETWORK REQUIRED PUBLIC OR PRIVATE STREETS.
- (e) INTERNAL SIDEWALK CONNECTIONS SHALL BE PROVIDED BETWEEN BUILDINGS AND FROM BUILDINGS TO ALL PUBLICLY ACCESSIBLE ON-SITE FACILITIES (PARKING AREAS, BICYCLE FACILITIES, OPEN SPACE ETC. AND ABUTTING OR ADJACENT PARKS, GREENWAYS, BIKEWAYS, TRAILS, DEVELOPMENTS AND TRANSIT STOPS. INTERNAL SIDEWALKS SHALL BE HARD SURFACED AND AT LEAST SIX FEET (6') IN
- (f) FENCES OR WALLS USED FOR SCREENING SHALL BE CONSTRUCTED OF DURABLE FASHION OF BRICK. STONE OR OTHER FINISH MASONRY MATERIALS.
- PREVIOUS OWNER, THAT A CERTAIN NUMBER OF AFFORDABLE HOUSING UNITS WILL BE PROVIDED.
- 7. ENVIRONMENTAL FEATURES:
- CONSTRUCTION STORMWATER ORDINANCE.

8. LIGHTING:

- (a) ALL NEW ATTACHED AND DETACHED LIGHTING SHALL BE FULLY SHIELDED DOWNWARD DIRECTED IN FULL CUTOFF FEATURE TYPE LIGHTING EXCLUDING LOWER, DECORATIVE LIGHTING THAT MAY BE INSTALLED ALONG THE DRIVEWAYS, SIDEWALKS AND PARKING AREAS.
- 9. AMENDMENTS TO REZONING PLAN:
- (a) ANY FUTURE AMENDMENTS TO THE REZONING PLAN (WHICH INCLUDES THE DEVELOPMENT STANDARDS) MAY BE APPLIED FOR BY THE THEN OWNER OR OWNERS OF THE APPLICABLE DEVELOPMENT AREA OR PORTIONS OF THE SITE AFFECTED BY SUCH AMENDMENT IN ACCORDANCE WITH THE PROVISIONS HEREIN AND OF CHAPTER 6 OF THE ORDINANCE.
- 10. BINDING EFFECT OF THE REZONING APPLICATION:
- (a) IF THE REZONING PLAN IS APPROVED, ALL CONDITIONS APPLICABLE TO THE DEVELOPMENT OF THE SITE IMPOSED UNDER THE REZONING PLAN WILL, UNLESS AMENDED IN A MANNER PROVIDED HEREIN AND UNDER THE ORDINANCE, BE BINDING UPON AND INURE TO THE BENEFIT OF THE PETITIONER AND SUBSEQUENT OWNERS OF THE SITE OR DEVELOPMENT AREAS, AS APPLICABLE, AND THEIR RESPECTIVE HEIRS, ADVISEES, PERSONAL REPRESENTATIVES, SUCCESSORS IN INTEREST OR

1)	THE PETITIONER MAY DESIGN THE VEHICLE ENTRANCES TO THE PROPOSED PARKING STRUCTURE
	WITH GATES AND OTHER ACCESS CONTROL MEASURES TO LIMIT AND CONTROL ACCESS TO THE
	PARKING STRUCTURE TO RESIDENTS AND THEIR GUESTS. VISITOR PARKING SPACES OR SPACES
	ASSOCIATED WITH THE LEASING OFFICE MAY BE LOCATED OUTSIDE THE GATES



- ISSUANCE OF A FIRST CERTIFICATE OF OCCUPANCY. 5. STREET, LANDSCAPING, OPEN SPACE AND SCREENING:
- ROAD WILL BE PROVIDED AS GENERALLY DEPICTED ON THE REZONING PLAN.
- GENERALLY DEPICTED ON THE REZONING PLAN.
- AND/OR REMOVAL TO ACCOMODATE FUTURE PEDESTRIAN AND VEHICULAR CONNECTIVITY.
- GENERAL DESIGN GUIDELINES:
- AS FOLLOWS:

- WIDTH UNLESS CONNECTING TO FOUR UNITS OR LESS.
- (g) PETITIONER HAS AGREED. AS A COMPONENT OF THE PROPERTY PURCHASE AGREEMENT WITH THE
- (a) THE PETITIONER SHALL COMPLY WITH THE CHARLOTTE CITY COUNCIL APPROVED AND ADOPTED POST
- (b) SITE SHALL COMPLY WITH THE CITY'S TREE ORDINANCE.

- (b) DETACHED LIGHTING ON THE SITE, EXCEPT STREET LIGHTS LOCATED ALONG PUBLIC STREETS, WILL BE LIMITED TO TWENTY-TWO FEET (22') FEET IN HEIGHT.

REVISIONS

REV DATE COMMENT



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CAD I.D.: PROJECT:

DATE:

REZONING PLAN

FOR —

MQC1, LLC

NORTH END DEPOT

MECKLENBURG COUNTY

STATESVILLE AVENUE & KOHLER AVENUE CHARLOTTE, NC 28206



1927 S. TRYON STREET, SUITE 310 CHARLOTTE, NC 28203 Phone: (980) 272-3400 Fax: (980) 272-3401 NC@BohlerEng.com

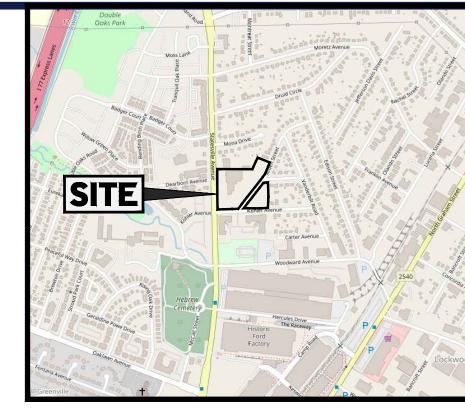


SHEET TITLE:

DEVELOPMENT NOTES

ORG. DATE - 3/10/21





VICINITY MAP

BOHLER ENGINEERING NC, PLL
SITE CIVIL AND CONSULTING ENGINEE
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV DATE COMMENT CHECKED BY



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PROJECT No.: NCC20
DRAWN BY:
CHECKED BY:
DATE: 3/1
CAD I.D.: RZ

PROJECT:

REZONING PLAN

MQC1, LLC

NORTH END DEPOT

STATESVILLE AVENUE &
KOHLER AVENUE
CHARLOTTE, NC 28206
MECKLENBURG COUNTY

BOHLER //
BOHLER ENGINEERING NC, PLLC

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SHEET TITLE:

AERIAL MAP

IEET NUMBER:

RZ-3

ORG. DATE - 3/10/21