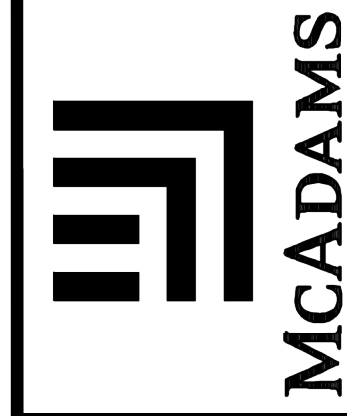


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 WINSTON-SALEM, NC 27101  
 www.stimmel.com 336.223.1067  
 LANDSCAPE ARCHITECTURE CIVIL ENGINEERING LAND PLANNING  
 THIS DRAWING IS PROVIDED BY PROPERTY OWNER  
 AND DOES NOT REPRESENT WORK PRODUCED BY  
 STIMMEL ASSOCIATES, PA.  
 LICENSE NO.: C-0293  
 DATE: 03/18/2021

**DEVELOPMENT DATA:**  
 ACREAGE: +/- 4.65  
 TAX PARCELS:  
 14313111  
 14313114  
 14313115  
 EXISTING ZONING: MUDD-0  
 PROPOSED ZONING: MUDD-0 S.P.A.  
 PROPOSED USE: UP TO 12,000 SQUARE FEET OF  
 COMMERCIAL USES (ENTITLED IN REZONING  
 PETITION 2007-082) INCLUDING THE  
 ADDITION OF ONE (1) FAST FOOD  
 DRIVE-THROUGH WINDOW (EXISTING HOTEL  
 AND PARKING TO REMAIN)

EXISTING REGIONAL STORMWATER FACILITY

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REVISIONS:

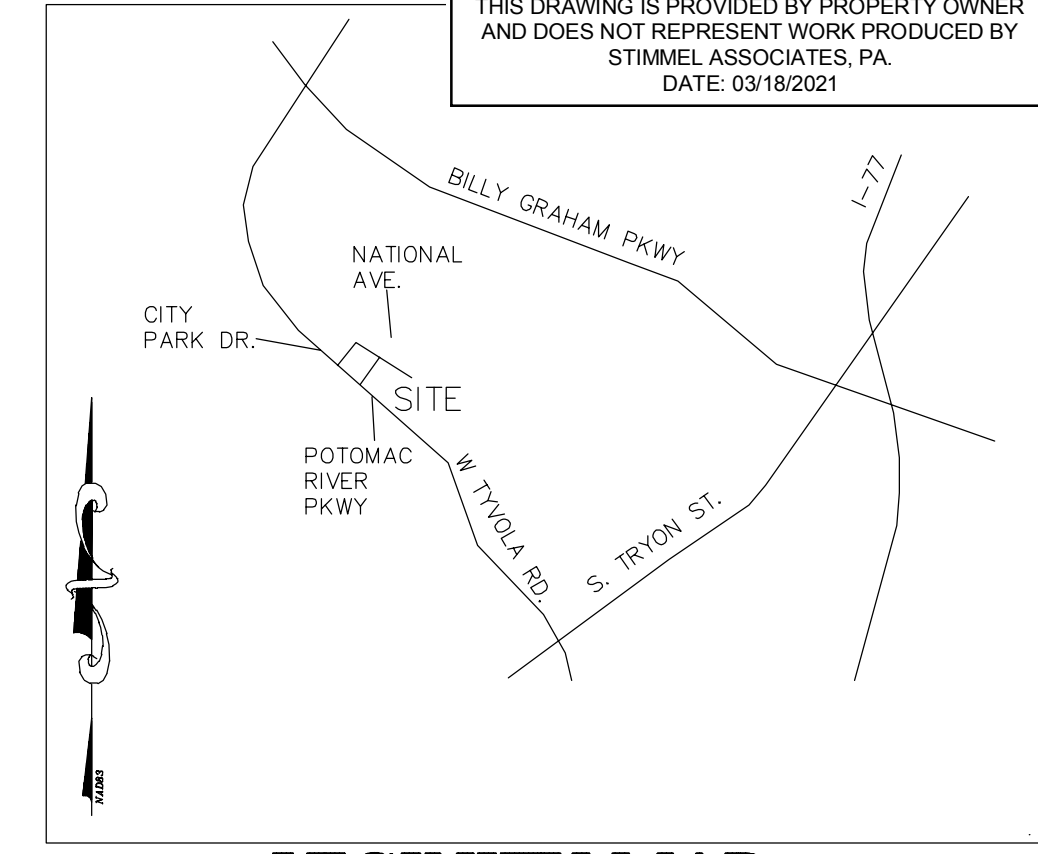

OWNER:  
**APOLLO HOLDING COMPANY, LLC**  
 5720 CREEDMOOR ROAD, SUITE 205  
 RALEIGH, NORTH CAROLINA 27612

**CITY PARK RETAIL  
 PETITION #2018-001**  
 CITY OF CHARLOTTE, NORTH CAROLINA

TECHNICAL DATA SHEET

PROJECT NO.:	MRE-13040
FILENAME:	
DESIGNED BY:	BGP
DRAWN BY:	BGP
SCALE:	
DATE:	12-15-2017
SHEET NO.:	RZ-1

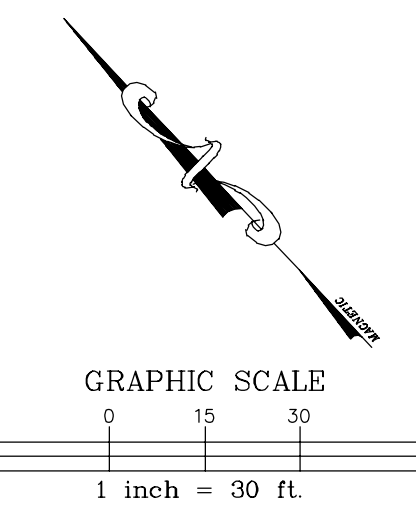
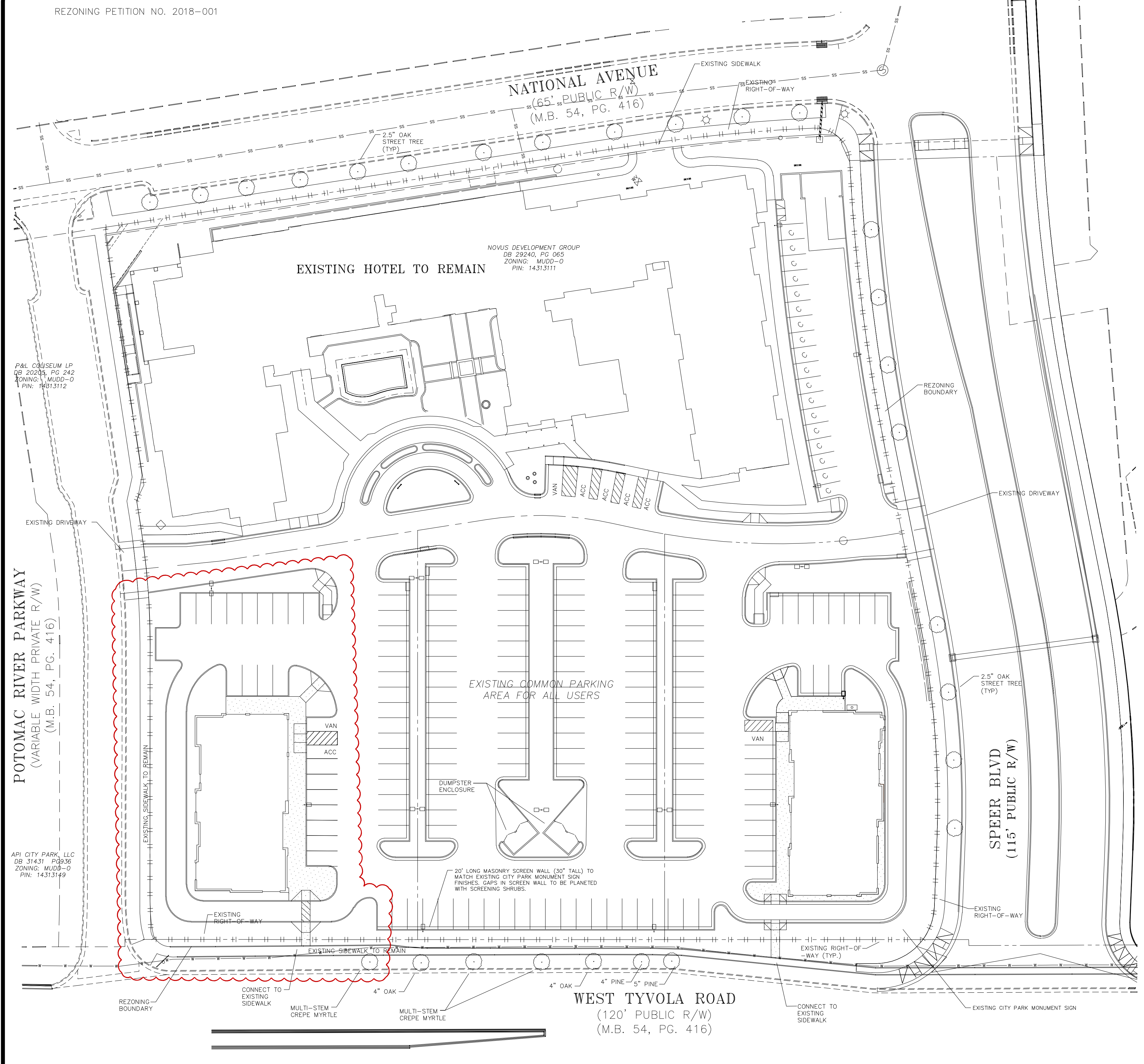




**VICINITY MAP  
 NTS**

**SITE DEVELOPMENT DATA:**  
 ACREAGE: ± 4.65 ACRES  
 TAX PARCELS: 143-131-14, 143-131-11, AND 143-131-15  
 EXISTING ZONING: MUDD-0  
 PROPOSED ZONING: MUDD-0 S.P.A.  
 EXISTING USES: HOTEL/PARKING/VACANT  
 PROPOSED USES: UP TO 12,000 SQUARE FEET OF ADDITIONAL COMMERCIAL USES (ENTITLED IN REZONING PETITION 2008-082), INCLUDING THE ADDITION OF ONE (1) FAST FOOD DRIVE-THROUGH WINDOW. EXISTING HOTEL AND PARKING TO REMAIN.

|| || || || || PROPOSED REZONING BOUNDARY



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**REVISIONS:**

1	2018-04-26	REVISED PER CITY COMMENTS
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**OWNER:**  
 APOLLO HOLDING  
 COMPANY, LLC  
 5720 CREEDMOOR ROAD, SUITE 205  
 RALEIGH, NORTH CAROLINA 27612

**CITY PARK RETAIL  
 PETITION #2018-001**  
 CITY OF CHARLOTTE, NORTH CAROLINA

PROJECT NO. MRE-13040  
 FILENAME: MRE13040-S1  
 DESIGNED BY: BGP  
 DRAWN BY: BGP  
 SCALE: 1" = 30'  
 DATE: 12-15-2017  
 SHEET NO. **RZ-2**



CITY OF CHARLOTTE  
 ZONING: UR-2(CD)  
 PIN: 14313301

1. GENERAL PROVISIONS

THESE DEVELOPMENT STANDARDS FORM PART OF THE TECHNICAL DATA SHEET ASSOCIATED WITH THE MUDD-O SITE PLAN AMENDMENT FILED BY APOLLO HOLDING COMPANY, LLC TO MODIFY SEVERAL PROVISIONS OF A MUDD-O ZONING PLAN WHICH WAS APPROVED BY THE CITY COUNCIL ON JANUARY 22, 2008 IN REZONING PETITION NO. 2018-001 FOR THE 159 ACRE CITY PARK DEVELOPMENT, AS THEREAFTER AMENDED ADMINISTRATIVELY FROM TIME TO TIME.

THIS SITE PLAN AMENDMENT APPLIES ONLY TO THAT APPROXIMATELY 4.65 ACRE PART OF THE CITY PARK DEVELOPMENT WHICH IS BOUNDED BY POTOMAC RIVER PARKWAY, NATIONAL AVENUE, SPEER BOULEVARD, AND WEST TYVOLA ROAD AND WHICH HAS BEEN DESIGNATED BY MECKLENBURG COUNTY AS TAX PARCELS 143-131-14, 143-131-11, AND 143-131-15 (THE SITE.).

UNLESS THE TECHNICAL DATA SHEET, THESE DEVELOPMENT STANDARDS OR ACCOMPANYING EXHIBITS ESTABLISH MORE STRINGENT STANDARDS, THE REGULATIONS ESTABLISHED UNDER THE ORDINANCE FOR THE MUDD ZONING DISTRICT AND THE DEVELOPMENT STANDARDS AS APPROVED IN REZONING PETITION 2007-082 AND ASSOCIATED ADMINISTRATIVE APPROVALS SHALL GOVERN ALL DEVELOPMENT TAKING PLACE ON THE SITE.

2. MUDD-O OPTIONAL PROVISIONS

THE PETITIONER PROPOSES TO UTILIZE THE MUDD-O PROVISIONS OF THE ORDINANCE IN ORDER TO ACCOMMODATE THE FOLLOWING:

(a) A DEVIATION TO ALLOW TWO (2) DRIVE-THROUGH SERVICE WINDOWS AS AN ACCESSORY TO AN EATING, DRINKING AND ENTERTAINMENT ESTABLISHMENT (RESTAURANT) USE. NO DRIVE THROUGH SERVICE WINDOWS SHALL BE LOCATED ON PARCEL 143-131-11. THE DRIVE THROUGH WINDOW SHALL ONLY BE LOCATED ON THE SAME PARCEL AS THE PRINCIPAL USE.

(b) A DEVIATION TO ALLOW MANEUVERING BETWEEN THE STREET AND BUILDINGS FOR THE TWO (2) DRIVE-THROUGH SERVICE WINDOWS ALLOWED.

3. PERMITTED USES AND MAXIMUM DEVELOPMENT

THE SITE MAY BE DEVELOPED WITH UP TO 12,000 SQUARE FEET OF COMMERCIAL FLOOR AREA (EXCLUSIVE OF AREAS USED FOR BUILDING AND EQUIPMENT ACCESS, SUCH AS STAIRS, ELEVATOR SHAFTS AND MAINTENANCE CRAWL SPACE) WITHIN UP TO TWO (2) BUILDINGS. THE EXISTING HOTEL AND FULLY CONSTRUCTED PARKING LOT SHALL REMAIN.

EXCEPT AS OTHERWISE PROVIDED IN THE NEXT SUCCEEDING PARAGRAPH, THE SITE MAY BE DEVOTED TO ANY USES (INCLUDING ANY INCIDENTAL OR ACCESSORY USES ASSOCIATED THEREWITH) WHICH ARE PERMITTED BY RIGHT OR UNDER PRESCRIBED CONDITIONS IN THE MUDD ZONING DISTRICT UNDER THE ORDINANCE, AS WELL AS (1) ADDITIONAL DRIVE-THROUGH SERVICE WINDOW USE PERMITTED UNDER THE OPTIONAL PROVISIONS IN SECTION 2 ABOVE.

NOTWITHSTANDING THE FOREGOING PARAGRAPH OF THIS SECTION 3, THE FOLLOWING USES SHALL NOT BE ALLOWED ON THE SITE:

- CONVENIENCE STORES WITH GASOLINE SALES;
CAR WASHES; AND
AUTOMOTIVE SERVICE STATIONS.

4. ARCHITECTURAL STANDARDS

(a) THERE SHALL BE NO INDOOR SEATING REQUIREMENTS.

(b) FACADES FRONTING STREETS SHALL INCLUDE A COMBINATION OF WINDOWS AND OPERABLE DOORS FOR A MINIMUM OF 60% OF EACH FRONTAGE ELEVATION TRANSPARENT GLASS BETWEEN 2' AND 10' ON THE FIRST FLOOR. UP TO 20% OF THIS REQUIREMENT MAY BE COMPRISED OF DISPLAY WINDOWS. THESE DISPLAY WINDOWS MUST MAINTAIN A MINIMUM OF 3'-00 CLEAR DEPTH BETWEEN WINDOW AND REAR WALL. WINDOWS WITHIN THIS ZONE SHALL NOT BE SCREENED BY FILM, DECALS, AND OTHER OPAQUE MATERIALS, GLAZING FINISHES OR WINDOW TREATMENTS. THE MAXIMUM SILL HEIGHT FOR REQUIRED TRANSPARENCY SHALL NOT EXCEED 4'-00 ABOVE ADJACENT STREET SIDEWALK.

(c) THE FACADES OF FIRST/GROUND FLOOR OF THE BUILDINGS ALONG STREETS SHALL INCORPORATE A MINIMUM OF 30% MASONRY MATERIALS SUCH AS BRICK OR STONE.

(d) DIRECT PEDESTRIAN CONNECTION SHALL BE PROVIDED BETWEEN STREET FACING DOORS, CORNER ENTRANCE FEATURES TO SIDEWALKS ON ADJACENT STREETS.

(e) BUILDING ELEVATIONS SHALL NOT HAVE EXPANSES OF BLANK WALLS GREATER THAN 20 FEET IN ALL DIRECTIONS AND ARCHITECTURAL FEATURES SUCH AS BUT NOT LIMITED TO BANDING, MEDALLIONS OR DESIGN FEATURES OR MATERIALS WILL BE PROVIDED TO AVOID A STERILE, UNARTICULATED BLANK TREATMENT OF SUCH WALLS.

(f) BUILDING ELEVATIONS SHALL BE DESIGNED WITH VERTICAL BAYS OR ARTICULATED ARCHITECTURAL FEATURES WHICH SHALL INCLUDE A COMBINATION OF AT LEAST THREE (3) OF THE FOLLOWING: A COMBINATION OF EXTERIOR WALL OFFSETS (PROJECTIONS AND RECESSES), COLUMNS, PILASTERS, CHANGE IN MATERIALS OR COLORS, AWNINGS, ARCADES, OR OTHER ARCHITECTURAL ELEMENTS.

(g) BUILDINGS SHALL BE A MINIMUM HEIGHT OF TWENTY-TWO (22) FEET.

5. STREETScape AND LANDSCAPING

(a) DRIVE THROUGH WINDOW AREAS WILL BE SCREENED FROM VIEW FROM THE PARALLEL STREET UTILIZING A TRELIS STRUCTURE INTEGRATED WITHIN A SCREEN WALL WITH A COMBINED MINIMUM HEIGHT OF SEVEN (7) FEET WHICH INCLUDES THE HEIGHT OF THE BASE WALL (IF ANY), AND A MINIMUM WIDTH OF THIRTY (30) FEET GENERALLY CENTERED ON THE LOCATION OF THE PROPOSED DRIVE THROUGH WINDOW. THE TRELIS WILL BE PLANTED WITH CLIMBING EVERGREEN PLANT MATERIAL COMMON TO THE AREA.

(b) THE DESIGN FOR DRIVE-THROUGH LANES CONSTRUCTED ON THE SITE MUST INCORPORATE AREAS FOR SAFE PEDESTRIAN CROSSING.

(c) IN AREAS INDICATED ON THE SITE PLAN, THE PETITIONER WILL PROVIDE A MIXTURE OF INTERMITTENT WALLS AND ENHANCED LANDSCAPING ALONG STREETS WHERE DRIVE-THROUGH SERVICE LANES AND/OR PARKING ADJUT THE STREET. WALLS WILL BE CONSTRUCTED OF MATERIALS GENERALLY COMPATIBLE WITH THE BUILDINGS TO WHICH THEY RELATE. IN ALL OTHER AREAS, PARKING SHALL BE SCREENED FROM PUBLIC ROADS, AS REQUIRED BY MUDD STANDARDS.

(d) NO TREES SHALL BE REMOVED FROM THE RIGHT-OF-WAY OF ANY CITY MAINTAINED STREET WITHOUT EXPLICIT PERMISSION OF THE CITY ARBORIST'S OFFICE. AUTHORIZATION IS REQUIRED TO BE OBTAINED PRIOR TO PLAN APPROVAL BY URBAN FORESTRY DURING THE LAND DEVELOPMENT PLAN REVIEW PROCESS.

stimmel logo and contact information: 601 N TRADE STREET, SUITE 300 WINSTON-SALEM, NC 27101

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Table with 2 columns: REVISIONS, COMMENTS. Includes revision dates 2018-02-12 and 2018-04-26.

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CITY PARK RETAIL PETITION #2018-001 CITY OF CHARLOTTE, NORTH CAROLINA

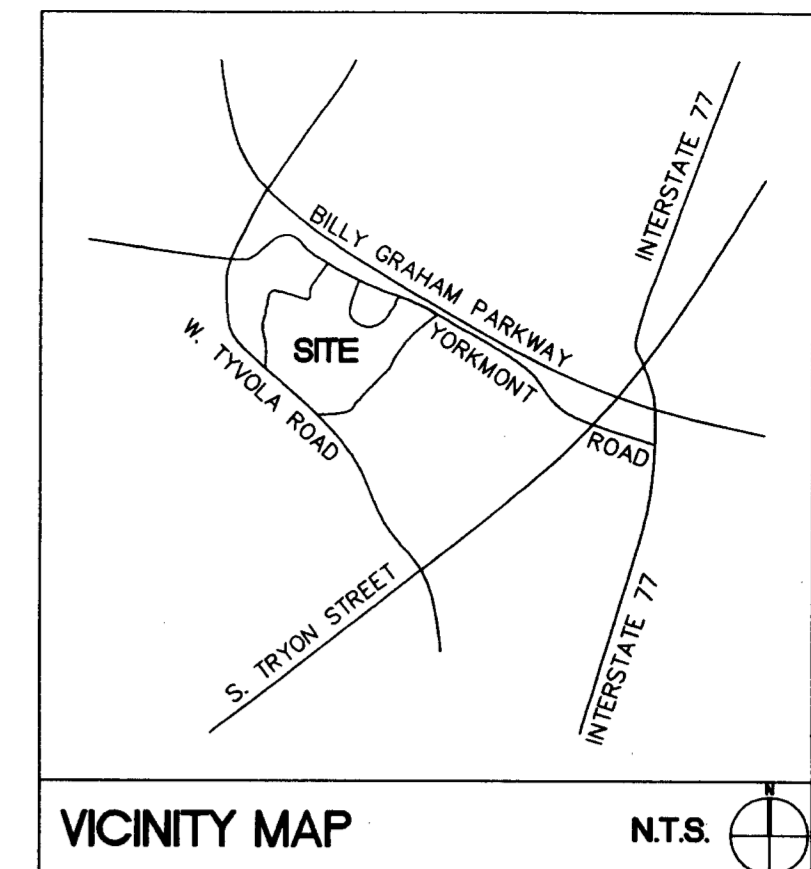
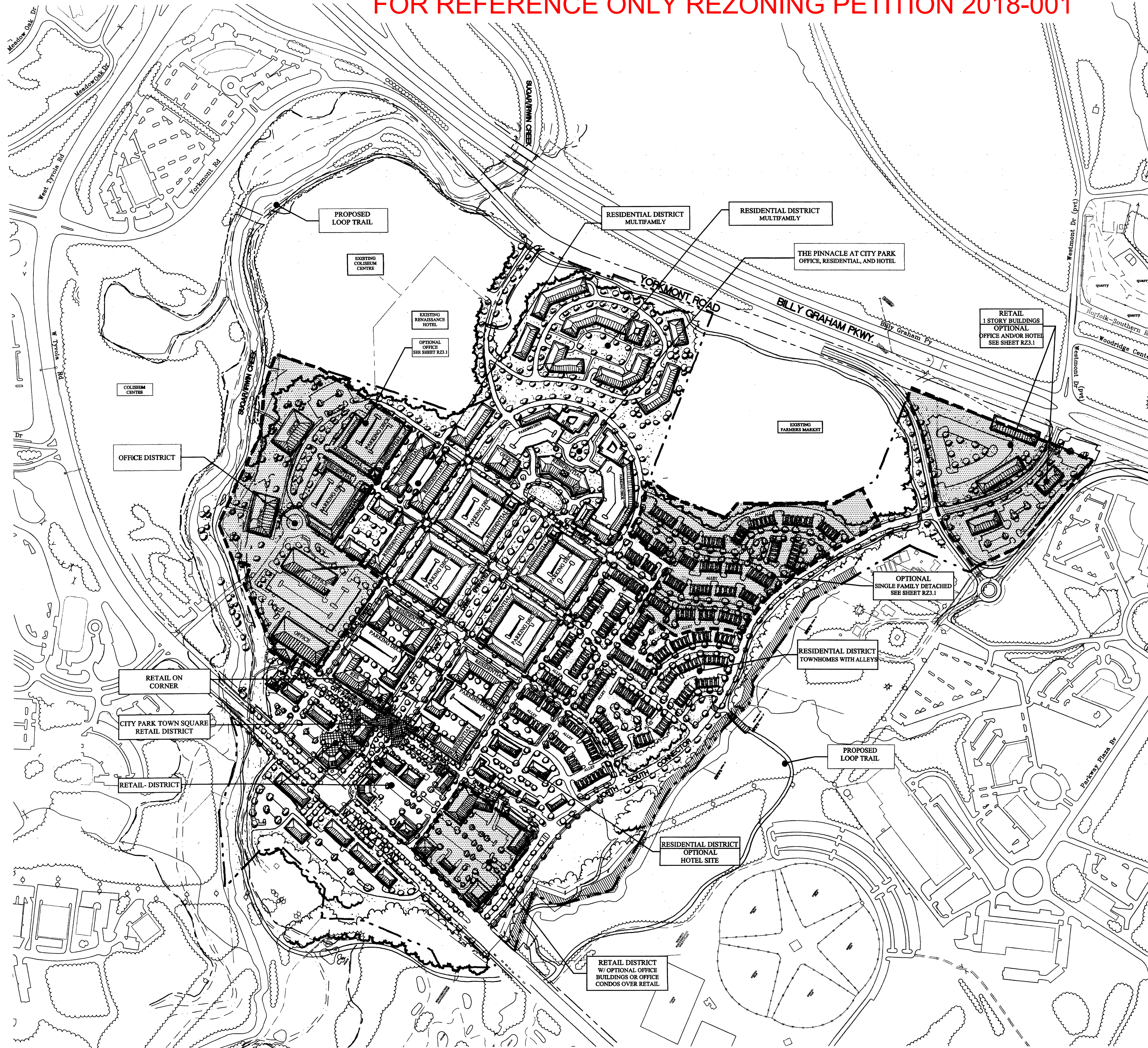
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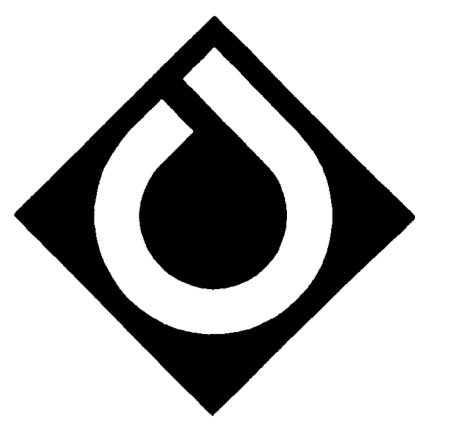


FOR REFERENCE ONLY REZONING PETITION 2018-001



BOUNDARY INFORMATION OBTAINED FROM "TOPOGRAPHIC SURVEY PREPARED FOR P & L COUSEUM, L.P. OF THE CHARLOTTE COUSEUM SITE," BY R.B. PHARR & ASSOCIATES, P.A., 1545 UNION ROAD SUITE-B, GASTONIA, NC 28054, 704-864-9636, DATED MARCH 17, 2006, JOB NO. 67459

**LEGEND**  
 OPTIONAL SITE PLAN  
 SEE SHEET RZ3.1



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 CUMBERLAND CENTER IV  
 3225 CUMBERLAND BLVD, SUITE 400  
 ATLANTA, GEORGIA 30339

**CITY PARK**

CHARLOTTE, NORTH CAROLINA

**CONCEPTUAL SITE PLAN**  
 For Public Hearing  
 Petition # 2007-082

Project No.

3592

Issued

03.26.07

Revised

09/14/07  
 11/16/07  
 12/14/07

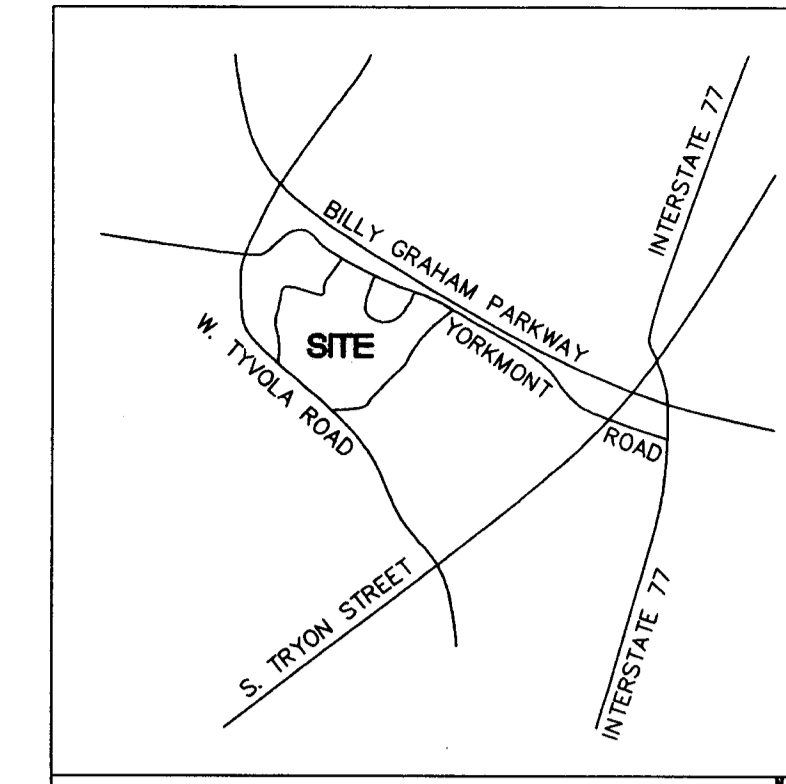
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**RZ3.0**

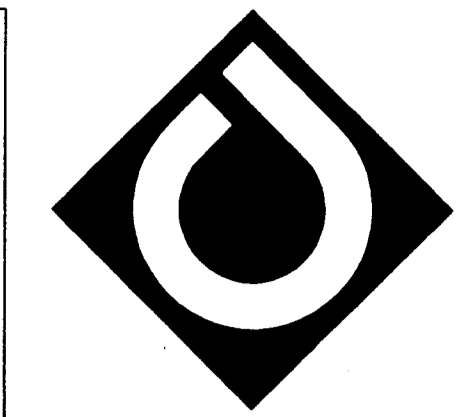
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VICINITY MAP N.T.S.  
 BOUNDARY INFORMATION OBTAINED FROM "TOPOGRAPHIC SURVEY PREPARED FOR P. & L. COLISEUM, L.P. OF THE CHARLOTTE COLISEUM SITE", BY R.B. PHARR & ASSOCIATES, P.A., 1548 UNION ROAD SUITE-B, GASTONIA, NC 28054, 704-864-9636, DATED MARCH 17, 2006, JOB NO. 67459



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**CITY PARK**

CHARLOTTE, NORTH CAROLINA

**CONCEPTUAL SITE PLAN ALTERNATIVE**  
 For Public Hearing  
 Petition # 2007-082

Project No.

3592

Issued

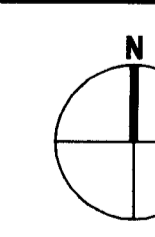
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Revised

09/14/07  
 11/16/07  
 12/14/07

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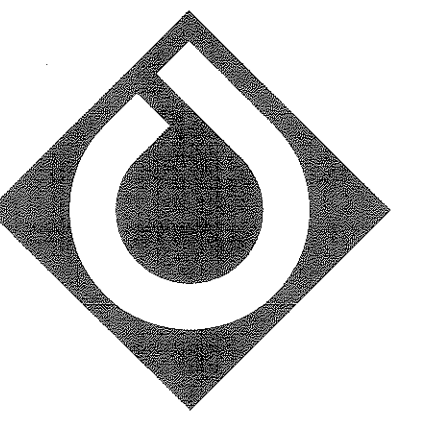
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**RZ3.1**

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**CITY PARK**

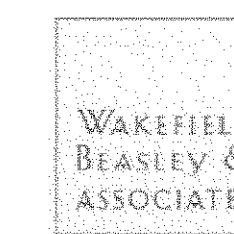
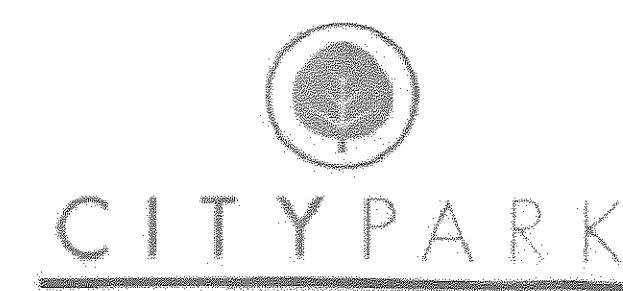
CHARLOTTE, NORTH CAROLINA

**PERSPECTIVE  
RENDERING  
For Public Hearing  
Petition # 2007-082**

Project No.  
3592

Issued  
03.26.07

Revised



**RZ3.2**

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