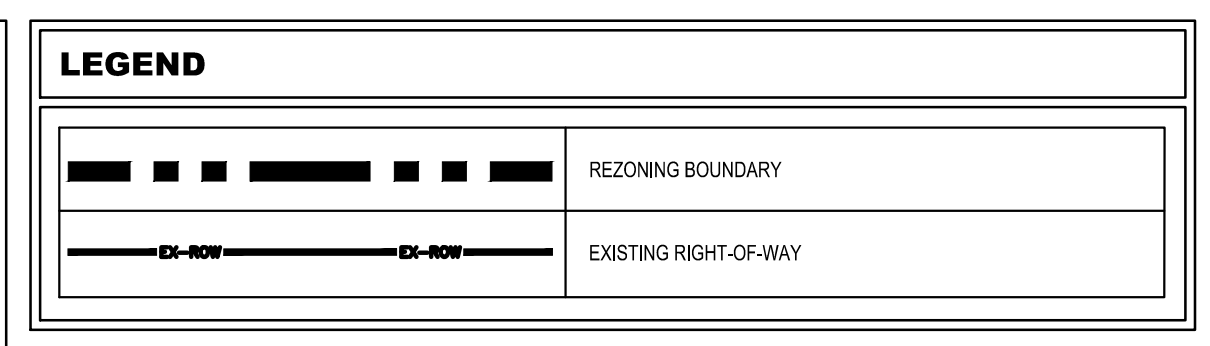
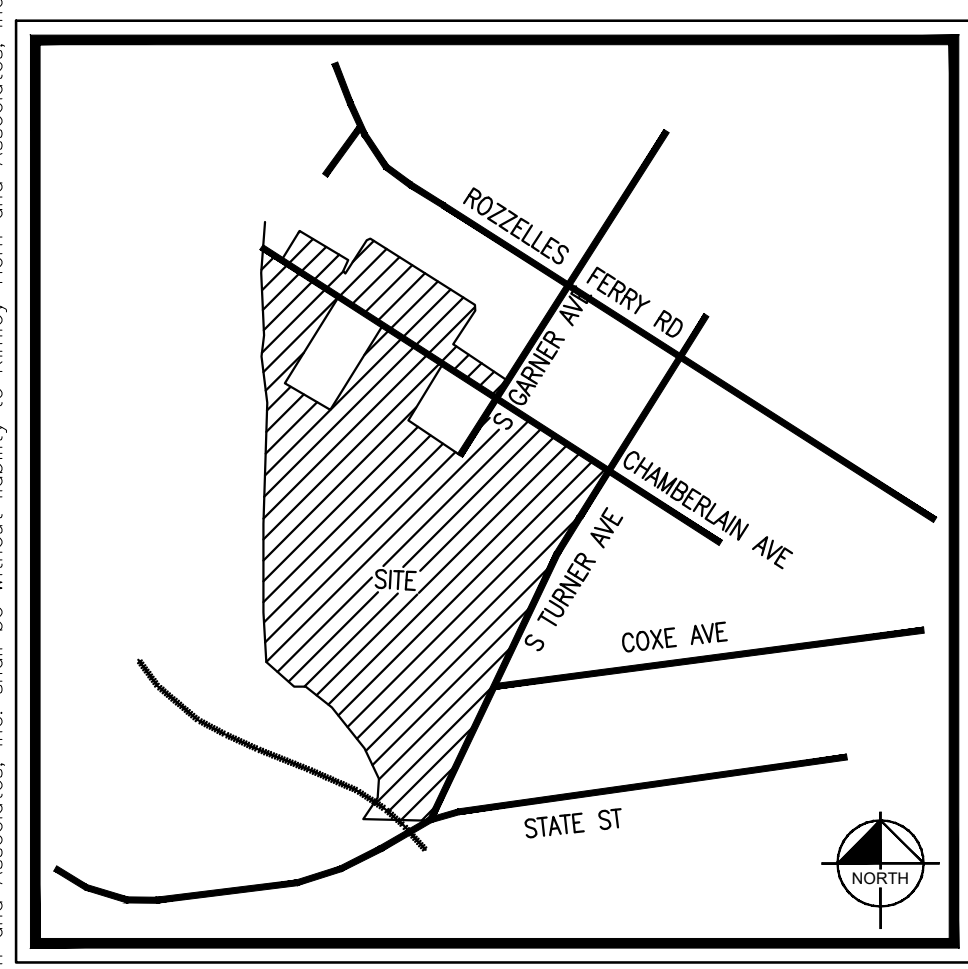
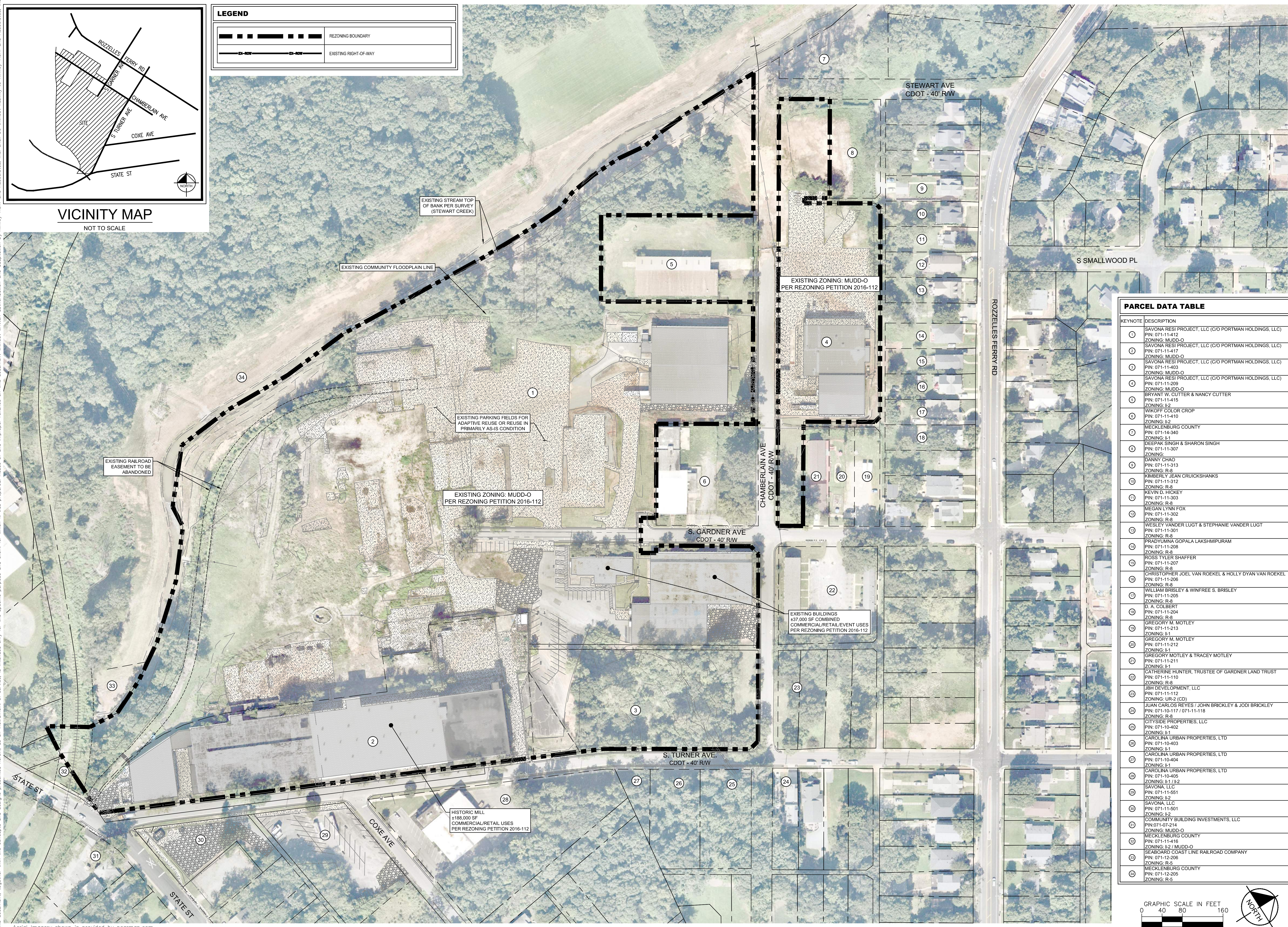


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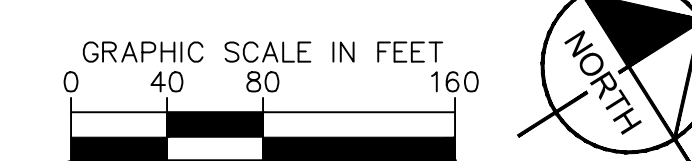


VICINITY MAP
NOT TO SCALE



PARCEL DATA TABLE

KEYNOTE	DESCRIPTION
1	SAVONA RESI PROJECT, LLC (C/O PORTMAN HOLDINGS, LLC) PIN: 071-11-412 ZONING: MUDD-O
2	SAVONA RESI PROJECT, LLC (C/O PORTMAN HOLDINGS, LLC) PIN: 071-11-417 ZONING: MUDD-O
3	SAVONA RESI PROJECT, LLC (C/O PORTMAN HOLDINGS, LLC) PIN: 071-11-403 ZONING: MUDD-O
4	SAVONA RESI PROJECT, LLC (C/O PORTMAN HOLDINGS, LLC) PIN: 071-11-209 ZONING: MUDD-O
5	BRYANT W. CUTLER & NANCY CUTLER PIN: 071-11-415 ZONING: L-2
6	WIKOFF COLOR CROP PIN: 071-11-410 ZONING: L-2
7	MECKLENBURG COUNTY PIN: 071-14-340 ZONING: L-1
8	DEEPAK SINGH & SHARON SINGH PIN: 071-11-307 ZONING:
9	DANNY CHAO PIN: 071-11-313 ZONING: R-8
10	KIMBERLY JEAN CRUICKSHANKS PIN: 071-11-312 ZONING: R-8
11	KEVIN D. HICKEY PIN: 071-11-303 ZONING: R-8
12	MEGAN LYNN FOX PIN: 071-11-302 ZONING: R-8
13	WESLEY VANDER LUGT & STEPHANIE VANDER LUGT PIN: 071-11-301 ZONING: R-8
14	PRADYUMNA GOPALA LAKSHMIPURAM PIN: 071-11-208 ZONING: R-8
15	ROSS TYLER SHAFFER PIN: 071-11-207 ZONING: R-8
16	CHRISTOPHER JOEL VAN ROEKEL & HOLLY DYAN VAN ROEKEL PIN: 071-11-206 ZONING: R-8
17	WILLIAM BRISLEY & WINFREE S. BRISLEY PIN: 071-11-205 ZONING: R-8
18	D. A. COLBERT PIN: 071-11-204 ZONING: R-8
19	GREGORY M. MOTLEY PIN: 071-11-213 ZONING: L-1
20	GREGORY M. MOTLEY PIN: 071-11-212 ZONING: L-1
21	GREGORY MOTLEY & TRACEY MOTLEY PIN: 071-11-211 ZONING: L-1
22	CATHERINE HUNTER, TRUSTEE OF GARDNER LAND TRUST PIN: 071-11-110 ZONING: R-8
23	JBH DEVELOPMENT, LLC PIN: 071-11-112 ZONING: UR-2 (CD)
24	JUAN CARLOS REYES / JOHN BRICKLEY & JODI BRICKLEY PIN: 071-10-117 / 071-11-118 ZONING: R-8
25	CITYSIDE PROPERTIES, LLC PIN: 071-10-402 ZONING: L-1
26	CAROLINA URBAN PROPERTIES, LTD PIN: 071-10-403 ZONING: L-1
27	CAROLINA URBAN PROPERTIES, LTD PIN: 071-10-404 ZONING: L-1
28	CAROLINA URBAN PROPERTIES, LTD PIN: 071-10-405 ZONING: L-1, L-2
29	SAVONA, LLC PIN: 071-11-551 ZONING: L-2
30	SAVONA, LLC PIN: 071-11-501 ZONING: L-2
31	COMMUNITY BUILDING INVESTMENTS, LLC PIN: 071-07-214 ZONING: MUDD-O
32	MECKLENBURG COUNTY PIN: 071-11-416 ZONING: L-2 / MUDD-O
33	SEABOARD COAST LINE RAILROAD COMPANY PIN: 071-12-206 ZONING: R-5
34	MECKLENBURG COUNTY PIN: 071-12-205 ZONING: R-5



SAVONA MILL REZONING
PREPARED FOR
PORTMAN RESIDENTIAL
NORTH CAROLINA

EXISTING CONDITIONS

REZONING PETITION NO. #####

NOT FOR CONSTRUCTION

Kimley>Horn

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200 SOUTH TRYON STREET, SUITE 200, CHARLOTTE, NC 28202
WWW.KIMLEY-HORN.COM

KHA PROJECT: 019292021
DATE: 01/06/2021
SCALE: AS SHOWN
DESIGNED BY: TRH
DRAWN BY: TRH
CHECKED BY: RBD

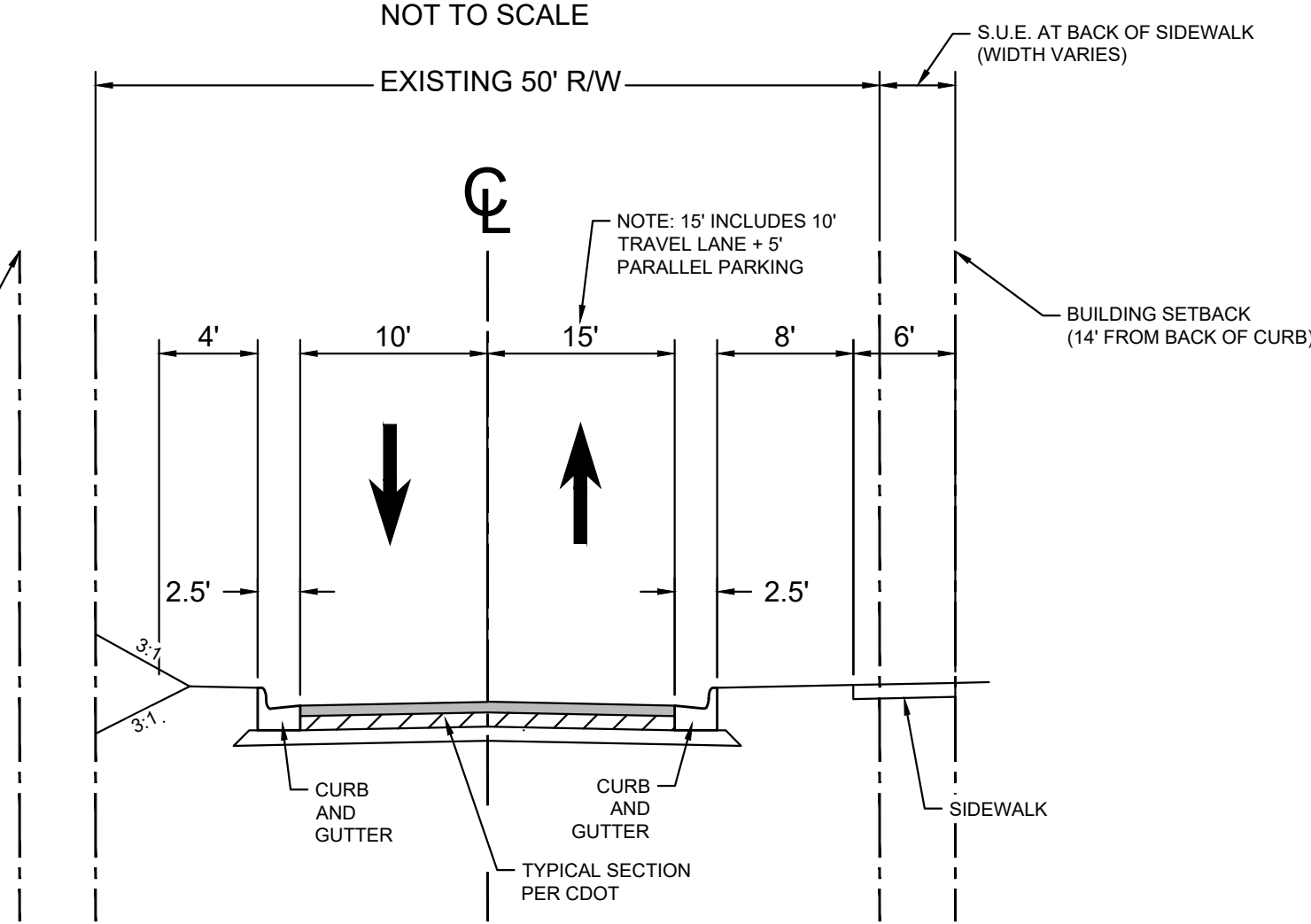
NO. _____
REVISED BY _____
DATE _____

SHEET NUMBER **RZ-01**CITY OF CHARLOTTE

Aerial Imagery shown is provided by nearmap.com

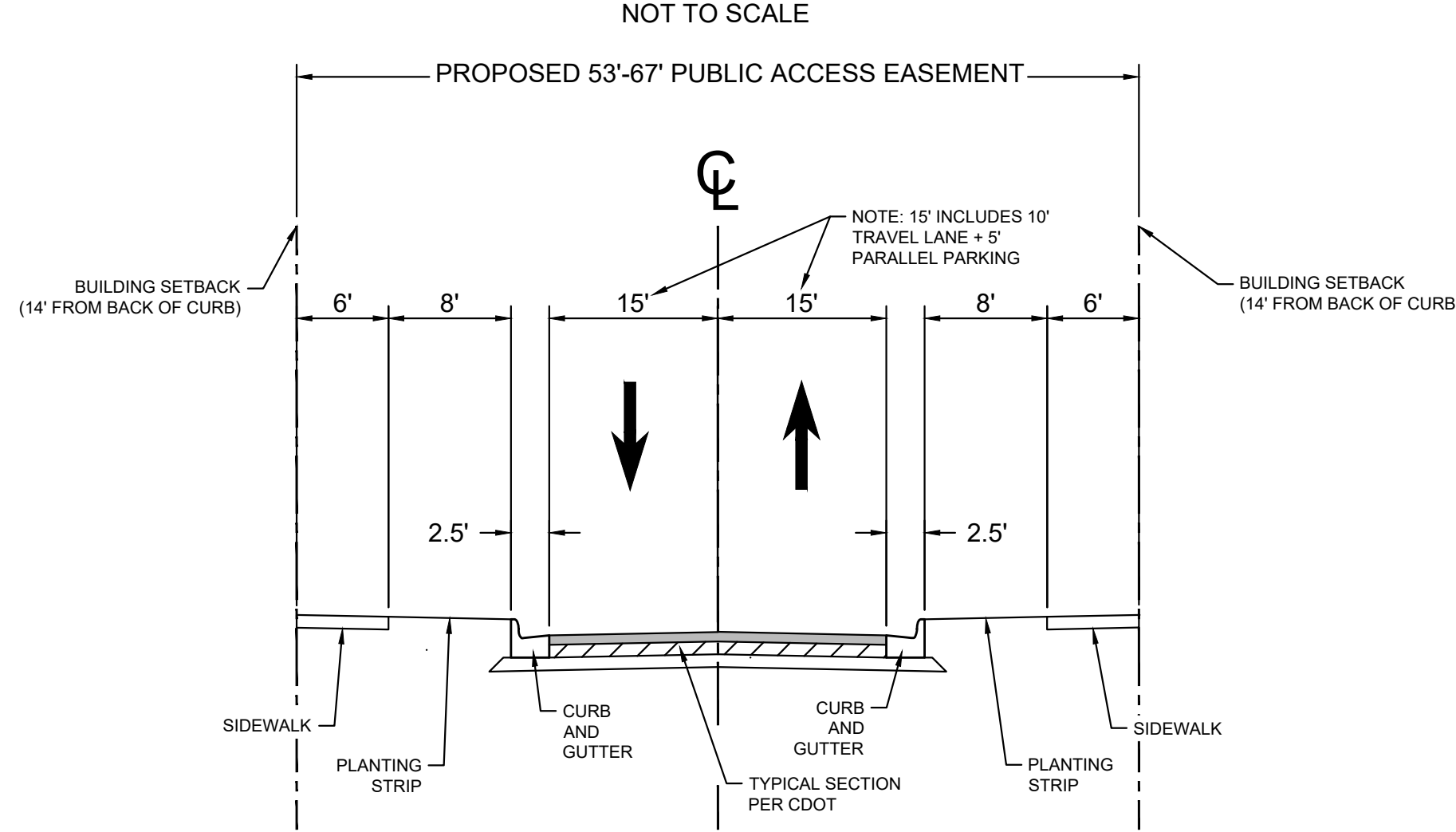
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TYPICAL SECTION A-A
 CHAMBERLAIN AVE. - WEST OF S. GARDNER AVE.



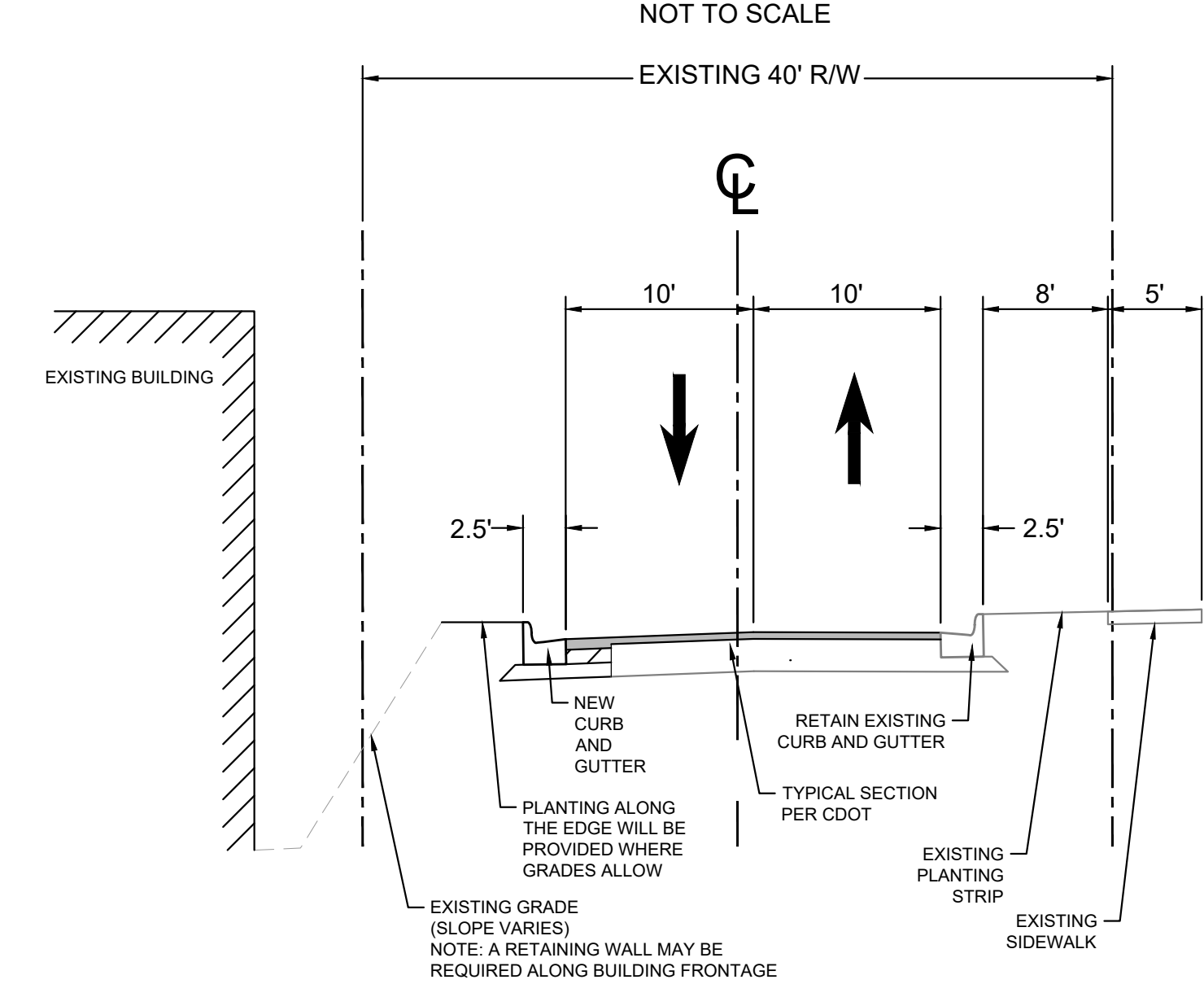
NOTE: SIDEWALKS AND PLANTERS MAY BE REDUCED AT PINCH POINTS AS COORDINATED DURING PERMITTING. MINIMUM SIDEWALK WIDTH SHALL BE 5'.

TYPICAL SECTION D-D
 ROAD A - NOT ADJACENT TO EXISTING BUILDING

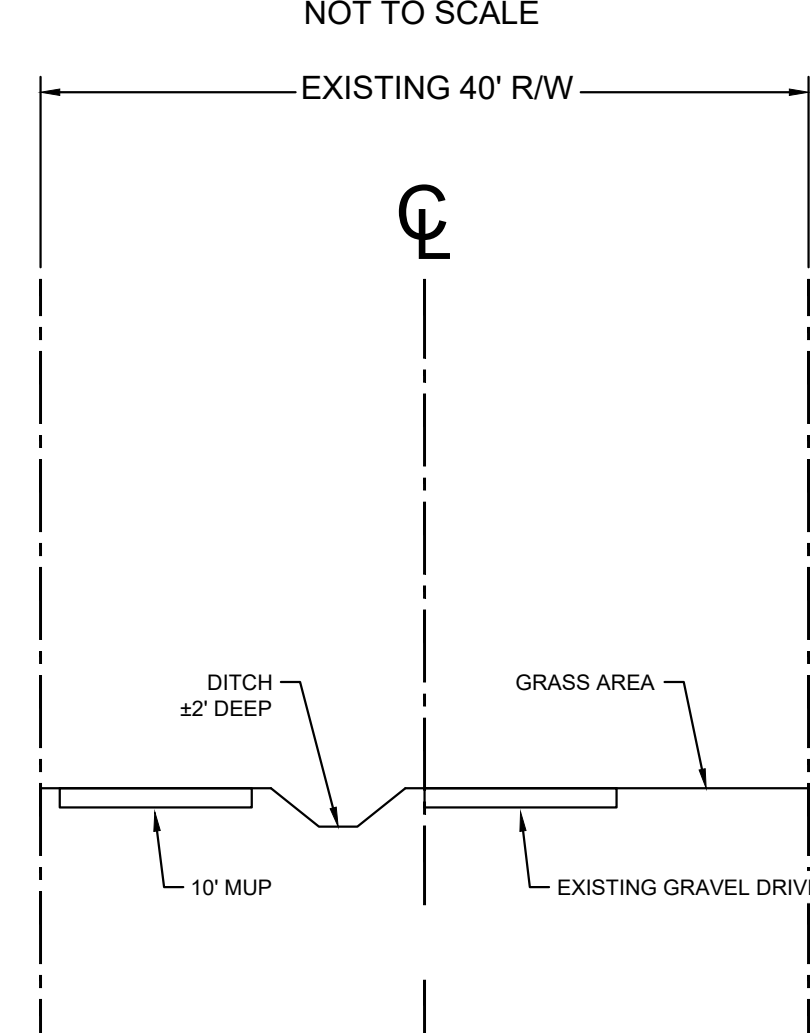


NOTE: SIDEWALKS AND PLANTERS MAY BE REDUCED AT PINCH POINTS AS COORDINATED DURING PERMITTING. MINIMUM SIDEWALK WIDTH SHALL BE 5'.

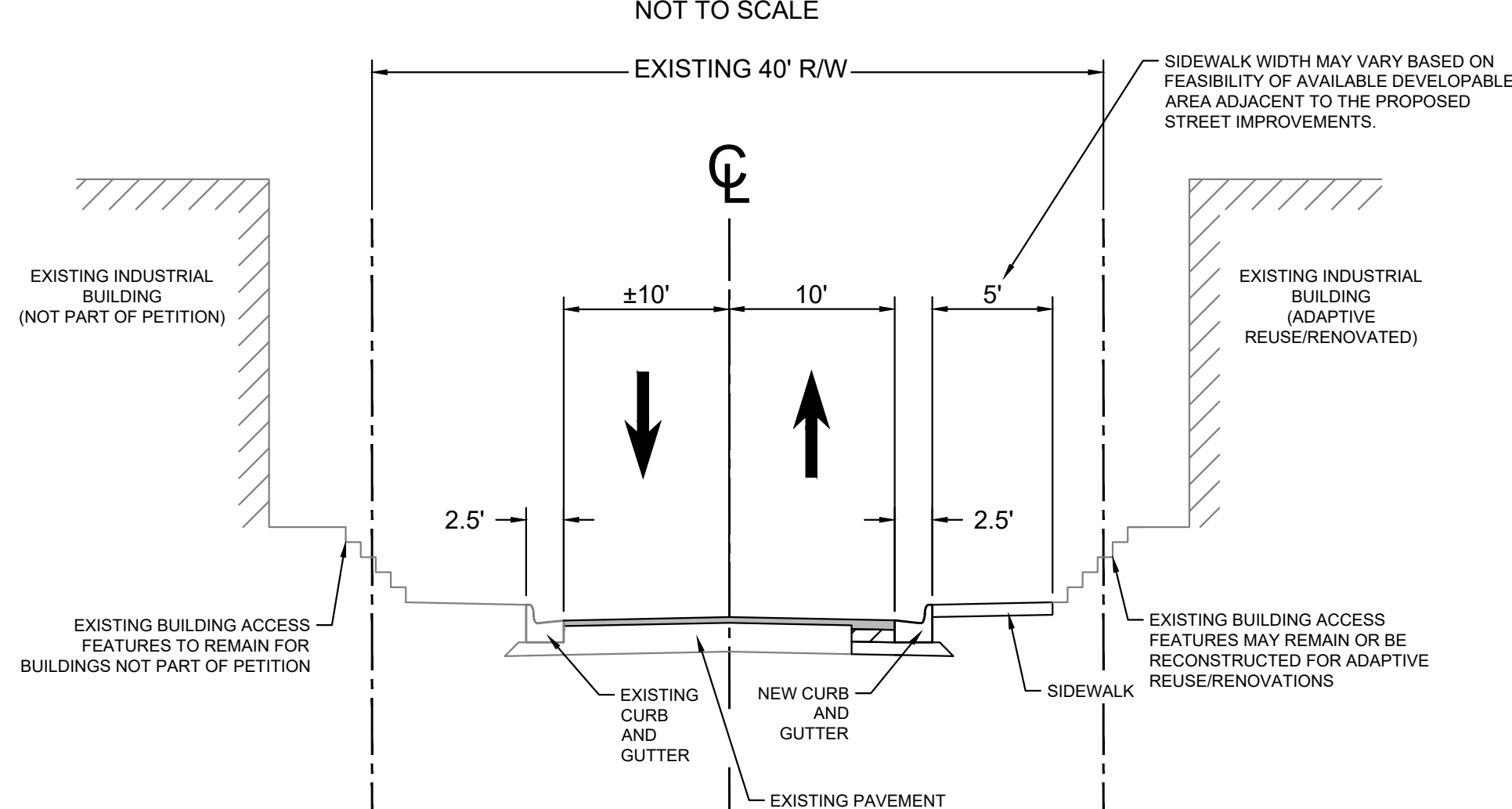
TYPICAL SECTION G-G
 S. TURNER AVE



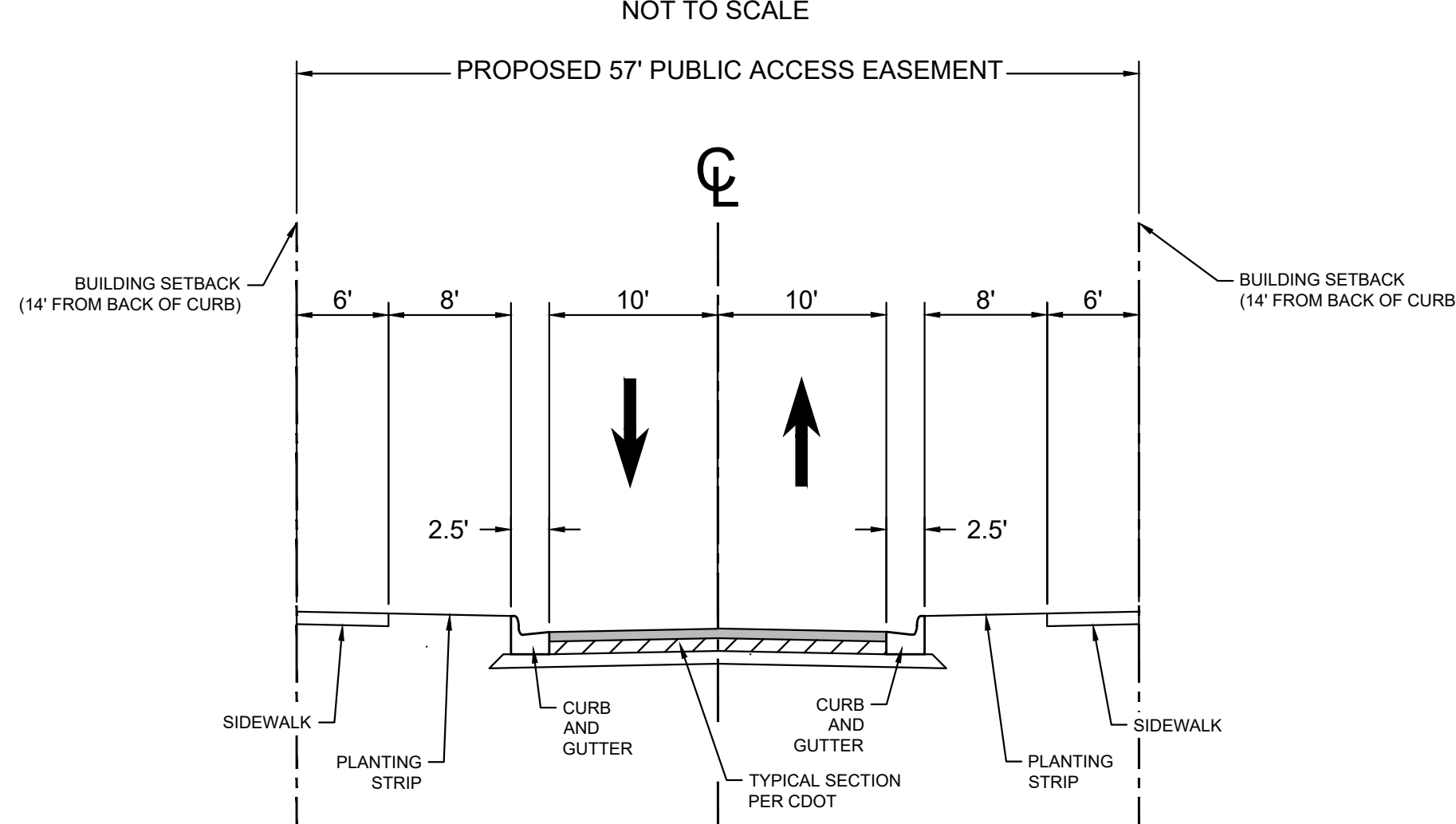
TYPICAL SECTION H-H
 STEWART AVE



TYPICAL SECTION B-B
 S. GARDNER AVE. - EX. BUILDING & ADAPTIVE REUSE CONDITION

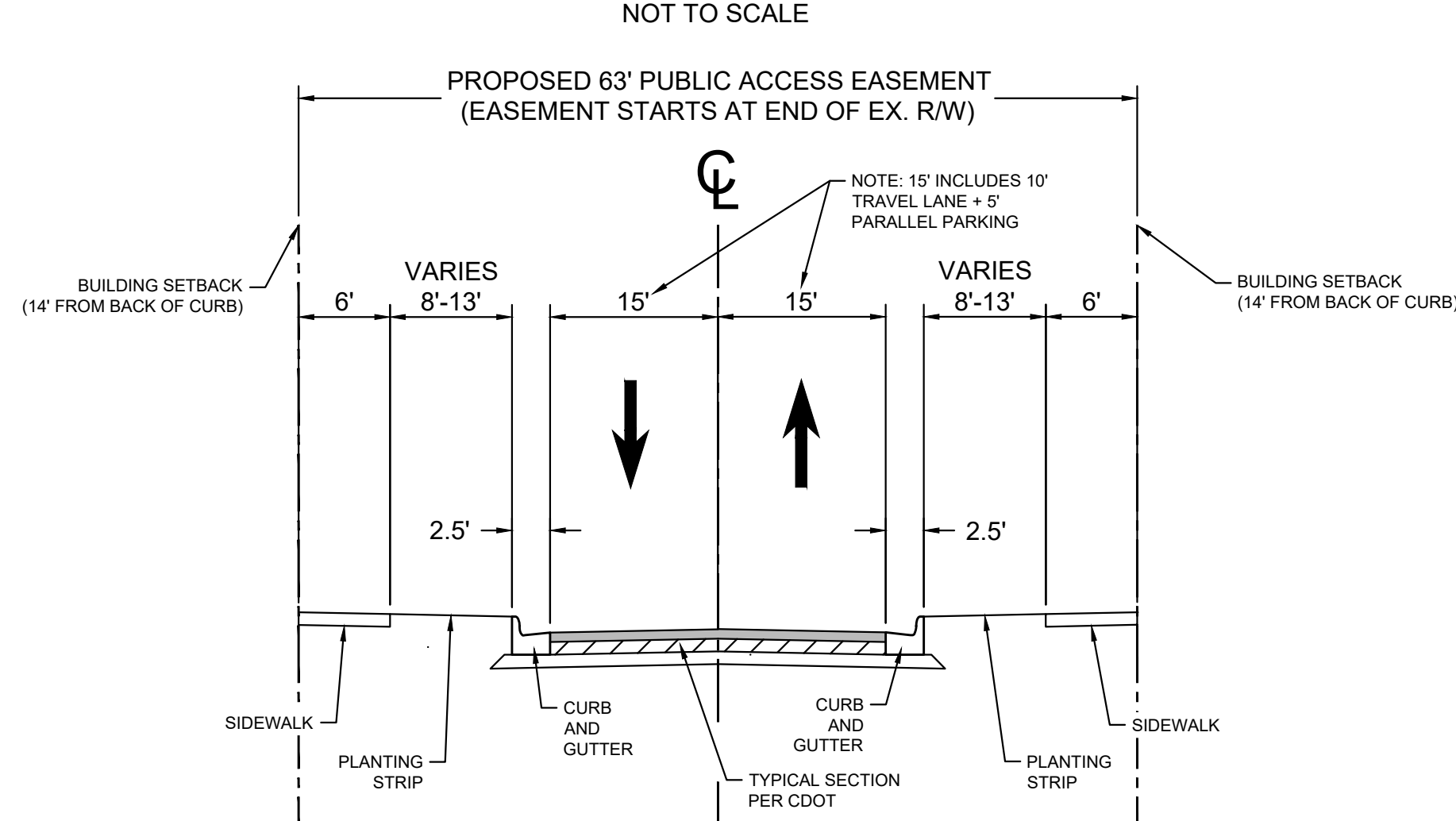


TYPICAL SECTION E-E
 ROAD A (ADJACENT TO EXISTING BUILDING)



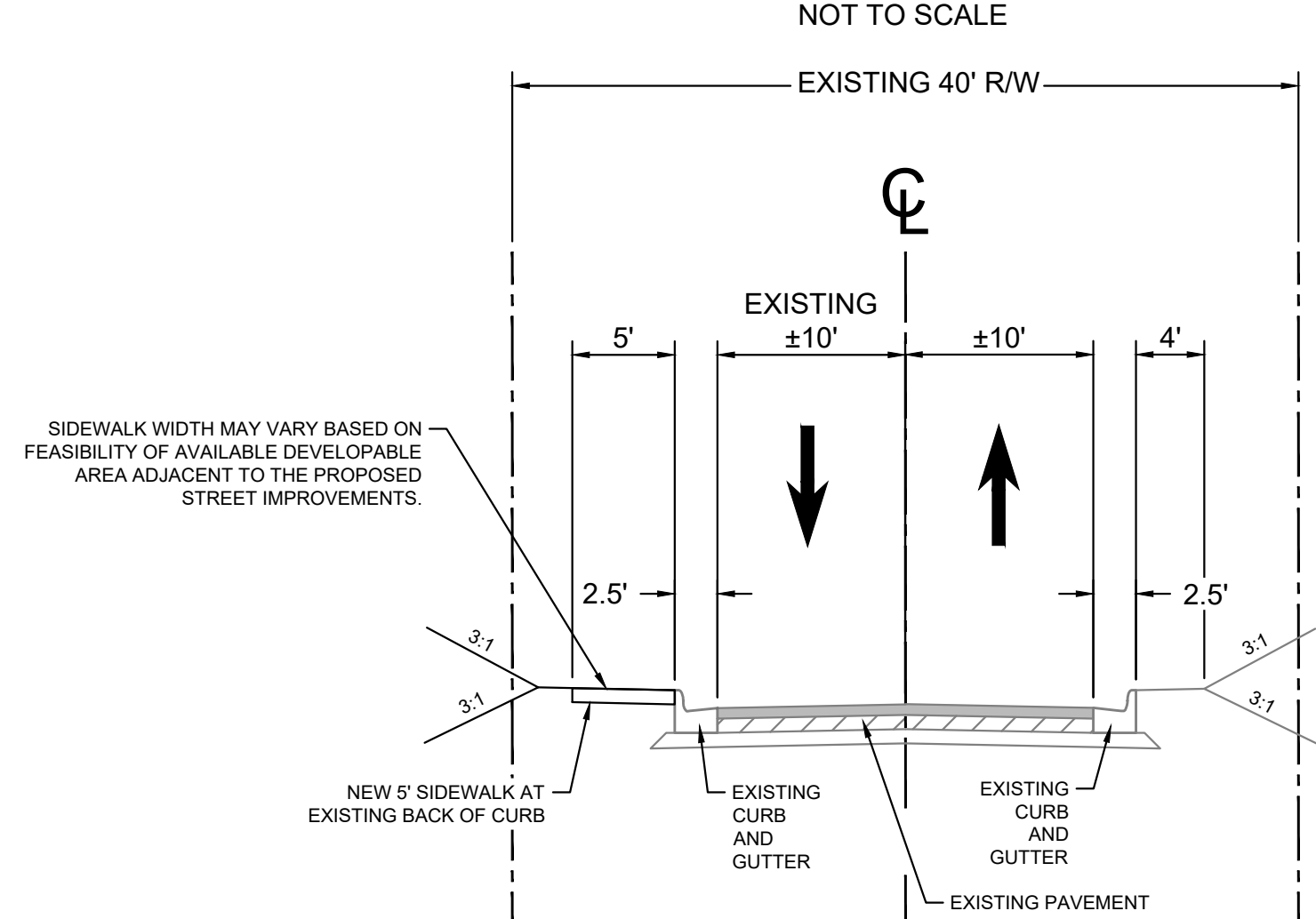
NOTE: SIDEWALKS AND PLANTERS MAY BE REDUCED AT PINCH POINTS AS COORDINATED DURING PERMITTING. MINIMUM SIDEWALK WIDTH SHALL BE 5'.

TYPICAL SECTION C-C
 S. GARDNER AVE. - NEW DEVELOPMENT



NOTE: SIDEWALKS AND PLANTERS MAY BE REDUCED AT PINCH POINTS AS COORDINATED DURING PERMITTING. MINIMUM SIDEWALK WIDTH SHALL BE 5'.

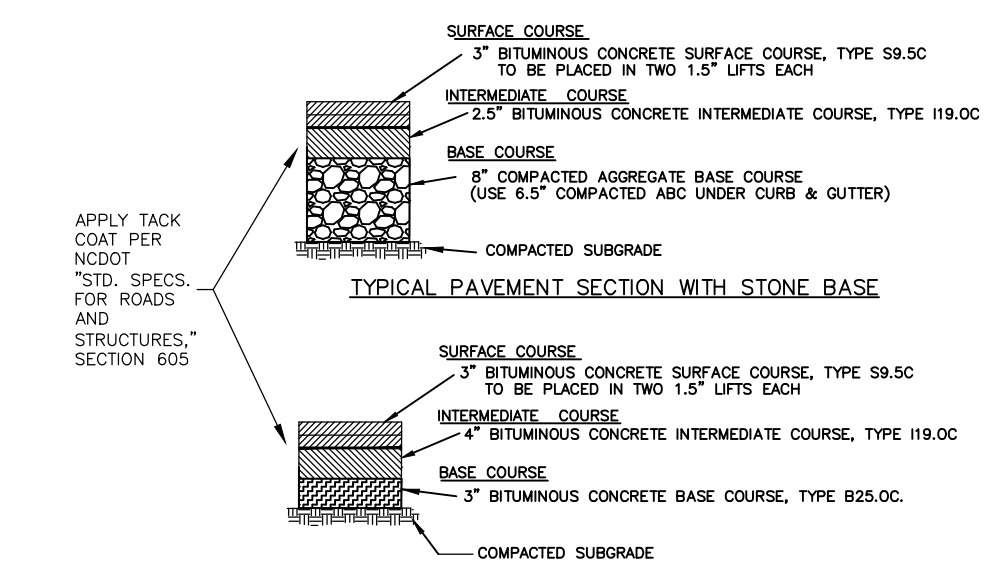
TYPICAL SECTION F-F
 CHAMBERLAIN AVE. - EAST OF S. GARDNER AVE.



NOTE: EXISTING SECTION IS SHOWN FOR REFERENCE ONLY. EXISTING ROADWAY SECTION SHALL NOT BE MODIFIED WITH THIS REZONING PLAN.

TYPICAL PAVEMENT SECTIONS
 CHAMBERLAIN AVE., S. TURNER AVE., S. GARDNER AVE.

EITHER OF THESE PAVEMENT SECTIONS MAY BE USED:



NOTE: TYPICAL PAVEMENT SECTIONS ARE BASED ON CITY OF CHARLOTTE STANDARD DETAIL U-04

NO.	REVISIONS	DATE	BY

Kimley-Horn
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 200 SOUTH TRYON STREET, SUITE 200, CHARLOTTE, NC 28202
 PHONE: 704-333-5131
 WWW.KIMLEY-HORN.COM

NOT FOR CONSTRUCTION

KHA PROJECT: 019292021
 DATE: 01/06/2021
 SCALE: AS SHOWN
 DESIGNED BY: TRH
 DRAWN BY: TRH
 CHECKED BY: RBD

TYPICAL ROADWAY SECTIONS

REZONING PETITION NO. #####

SAVONA MILL REZONING
 PREPARED FOR
PORTMAN RESIDENTIAL
 NORTH CAROLINA

SHEET NUMBER
RZ-05