

KEY MAP

SEAL

PROJECT

**STEELE CREEK  
 (1997), LLC**

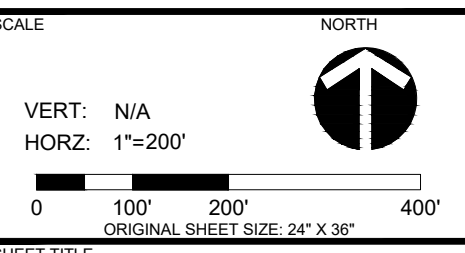
CHARLOTTE, NC  
 REZONING  
 RZP-2021-093

LANDDESIGN PROJ.# 1021001

REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
1	INITIAL SUBMITTAL	03.30.21
2	PER CITY COMMENTS	09.13.21
3	PER CITY COMMENTS	11.15.21
4	PER CITY COMMENTS	12.13.21

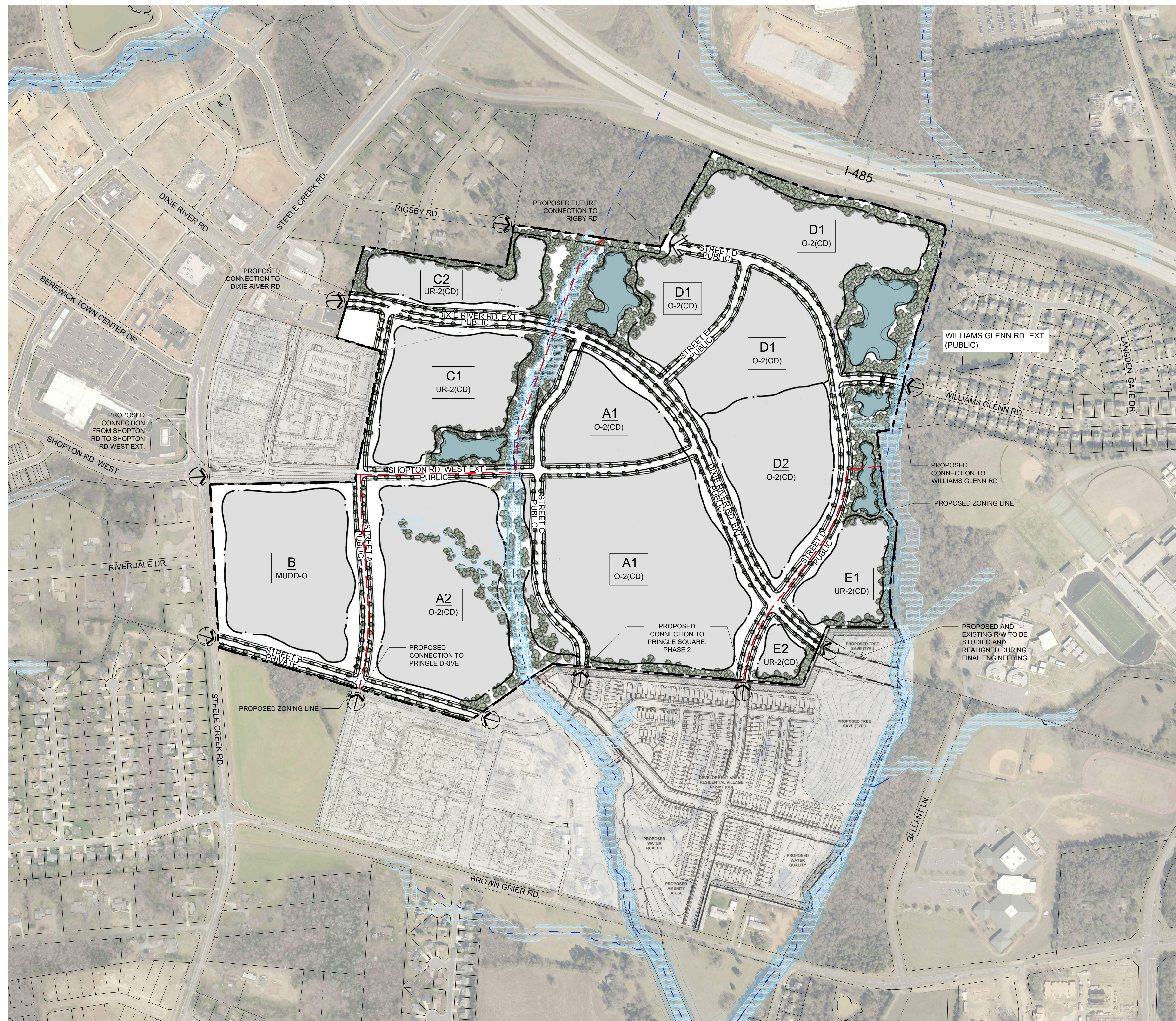
DESIGNED BY: KST  
 DRAWN BY: JYK  
 CHECKED BY: KST



SCHEMATIC SITE PLAN

SHEET NUMBER

**RZ-2**



KEY MAP

SEAL

PROJECT

### STEELE CREEK (1997), LLC

CHARLOTTE, NC  
REZONING  
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DRAWN BY: JYK  
CHECKED BY: KST

SCALE

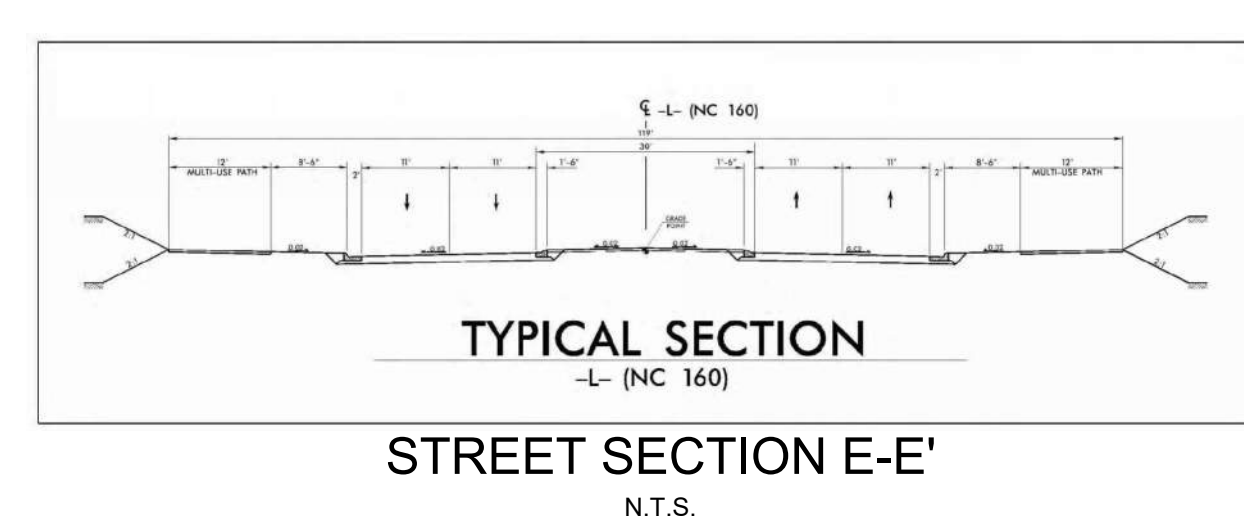
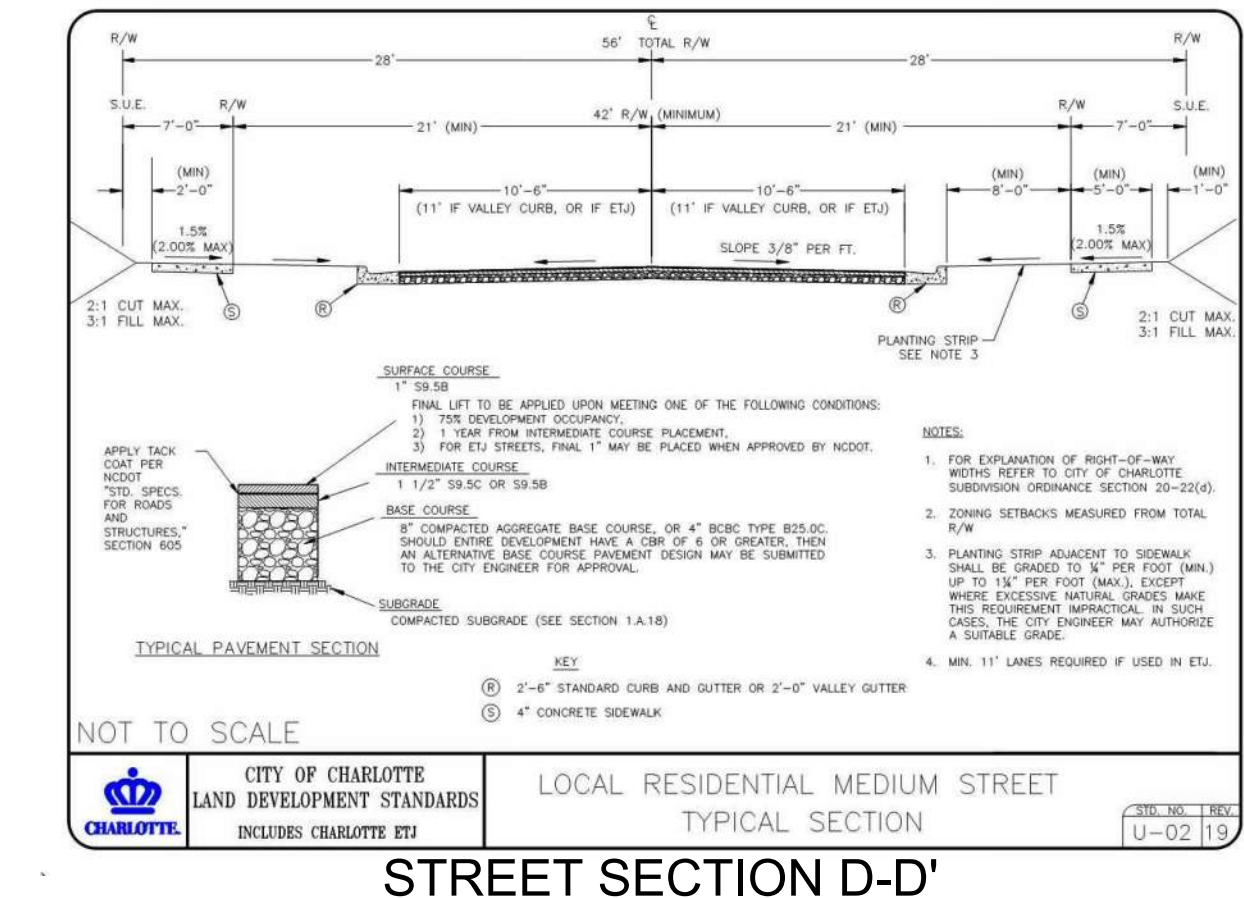
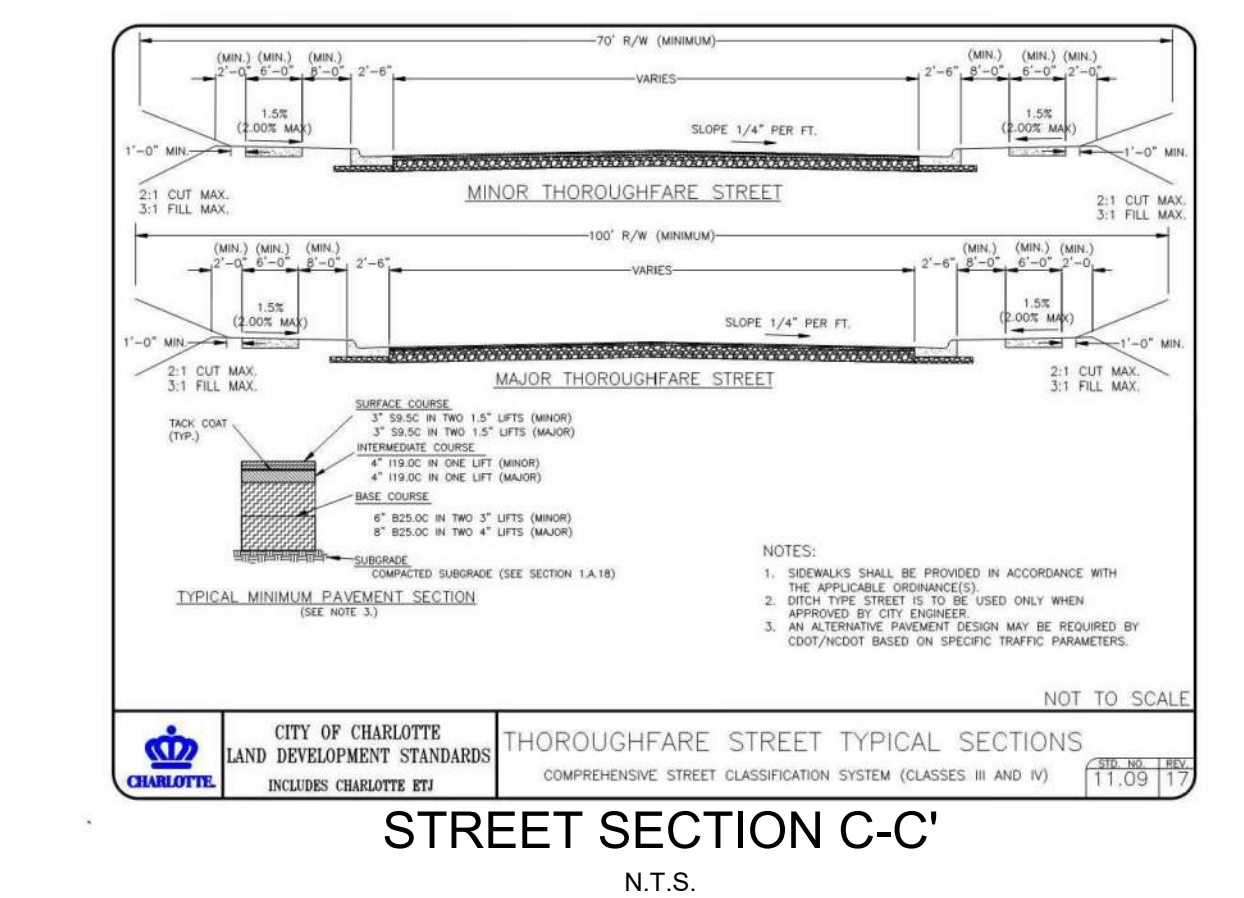
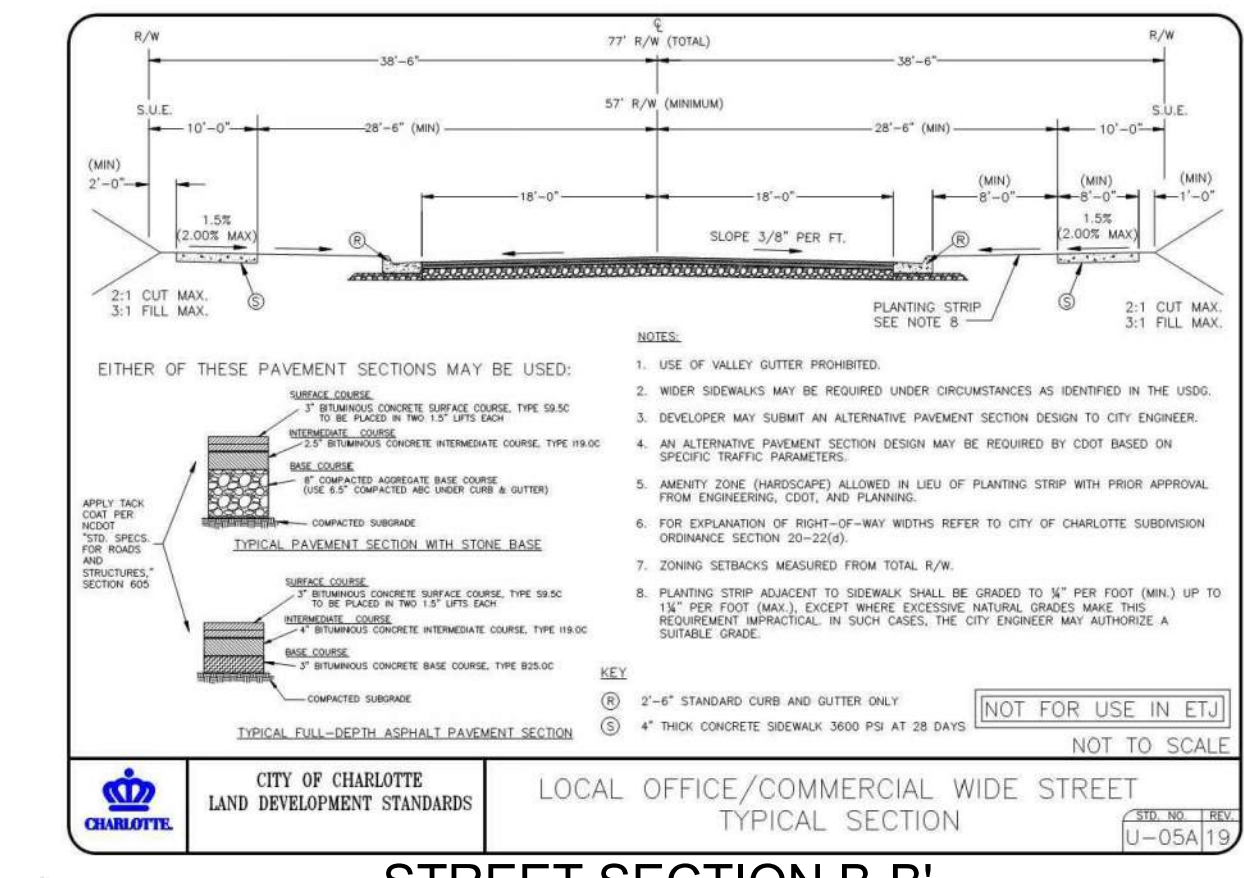
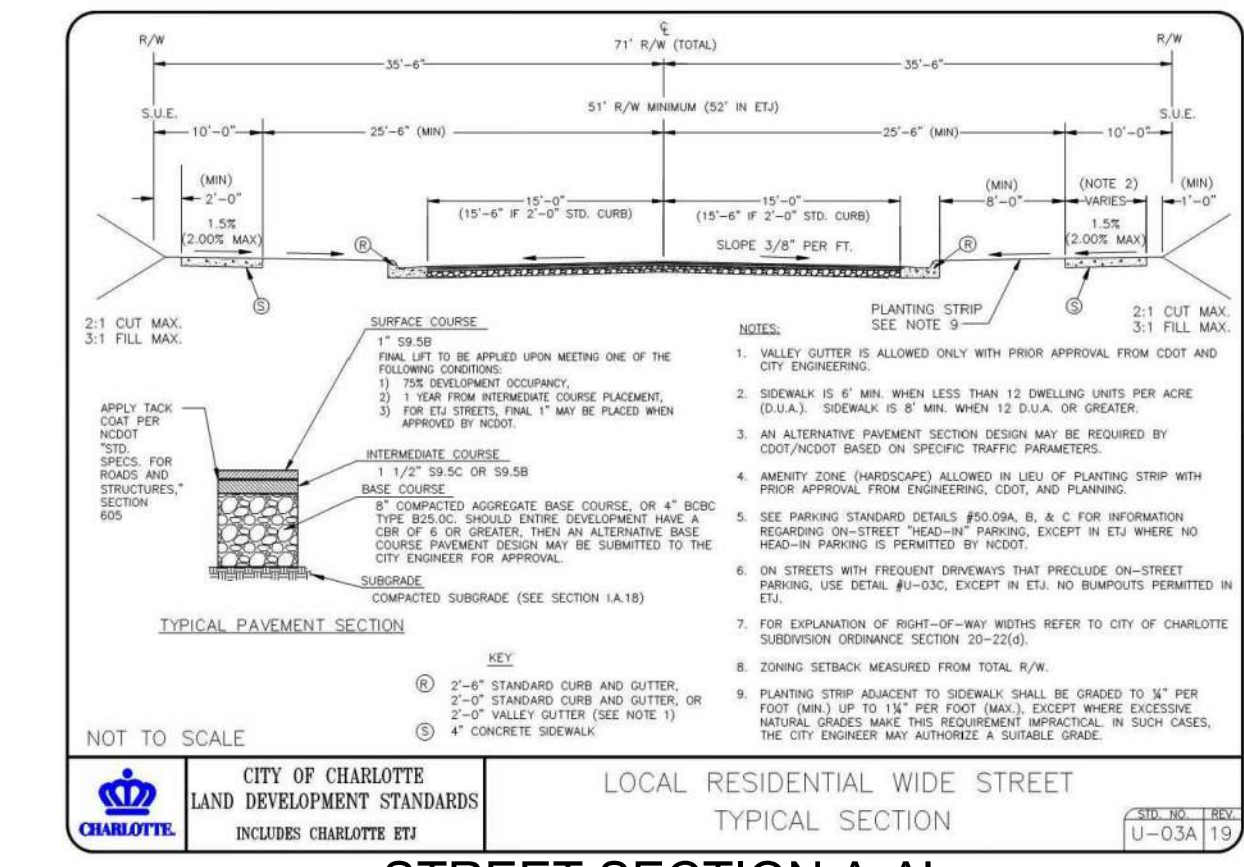
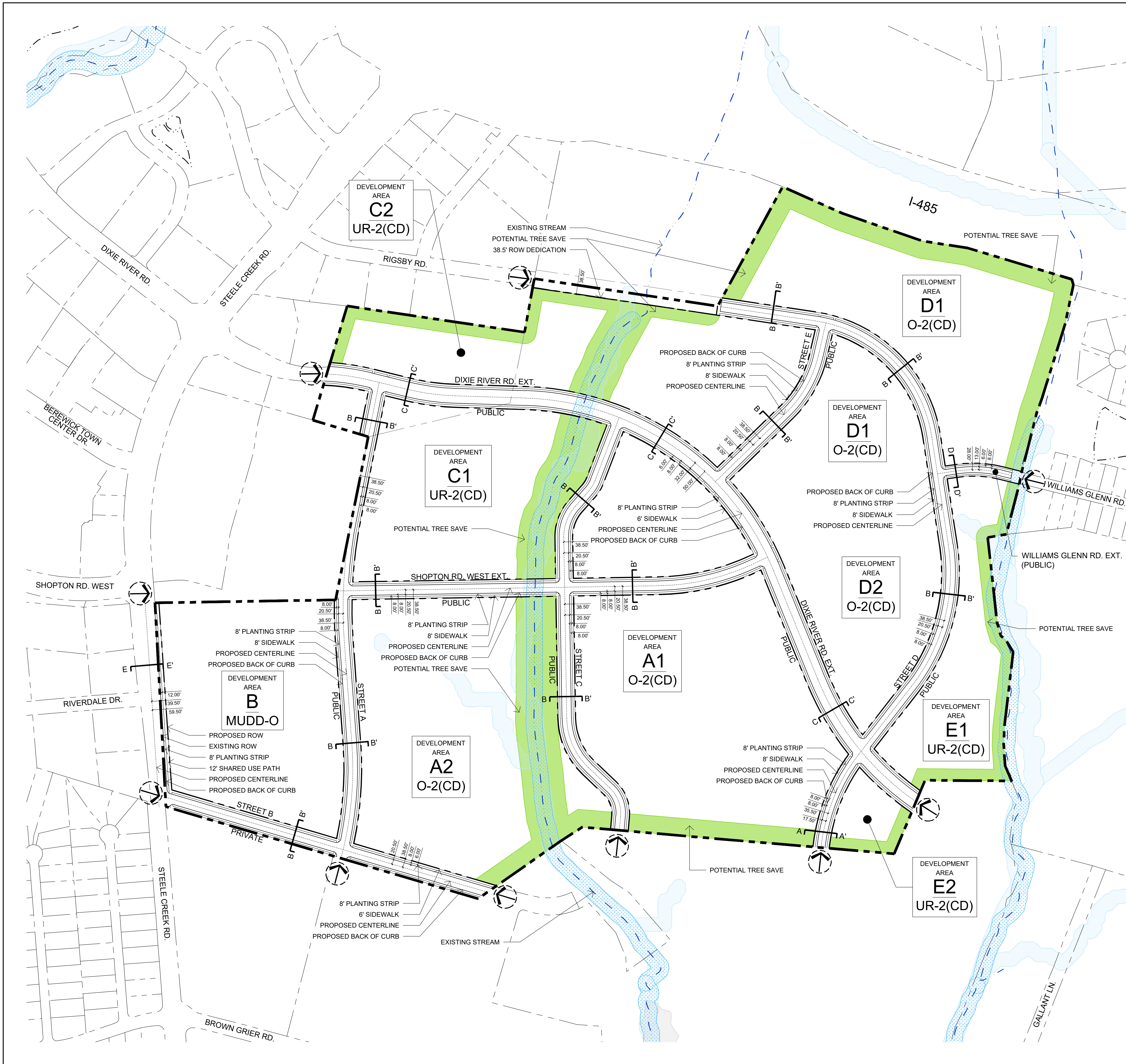
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SHEET TITLE

SCHEMATIC SITE PLAN  
ADJACENT DEVELOPMENTS

SHEET NUMBER

RZ-3



KEY MAP

SCALE

PROJECT

**STEELE CREEK (1997), LLC**

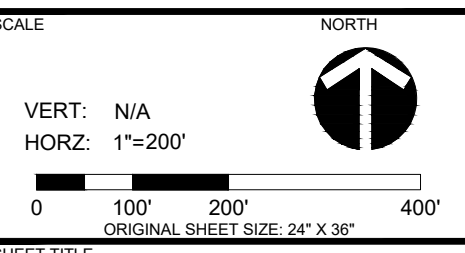
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LANDDESIGN PROJ# 1021001

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DRAWN BY: JYK  
CHECKED BY: KST



**PROPOSED STREET DIMENSIONS**

SHEET NUMBER

**RZ-4**



**5. Architectural Standards and Parking Location Restrictions**

a. **MUDD-O Design Standards.** It is intended that Rezoning Plan for the portion of the Site zoned MUDD-O provide a horizontal mix of uses that includes office, retail, EDEE, personal service uses, and other permitted uses in a manner that creates a unified development pattern with generally coordinated streetscape elements, landscaping, open spaces and quality building materials. The Rezoning Plan for the portion of the Site zoned MUDD-O will seek to emphasize pedestrian connections between uses and create a link between the non-residential uses along Steele Creek Road the adjacent uses. Long expanses of blank walls in excess of 20 feet will be limited, and where they are necessary will be treated with a combination of architectural expressions such as changes in materials, fenestration, windows, building setback and landscaping, artwork, display cases or other similar items.

b. **Non-residential Design Standards.** In addition to subsection 5.a. above as to the portion of the Site zoned MUDD-O, non-residential buildings shall adhere to the following standards:

i. **Building Materials.** The principal buildings constructed on the portion of the Site zoned MUDD-O may use a variety of building materials. The building materials used for such buildings (other than structured parking facilities, if any) will be a combination of the following: glass, brick, stone, simulated stone, pre-cast stone, precast concrete, synthetic stone, stucco, cementitious siding (such as hardy-plank), EIFS or wood. Vinyl as a building material will not be allowed except on windows and soffits.

ii. **Building Placement and Site Design.** Building placement and site design shall focus on and enhance the pedestrian environment on public or private network required streets, through the following:

- a) Buildings shall be placed so as to present a front or side façade to all streets.
- b) Facades fronting streets shall include a combination of windows and operable doors for a minimum of 60% of each frontage elevation transparent glass between 2' and 10' on the first floor. Up to 20% of this requirement may be comprised of display windows. These display windows must maintain a minimum of 3'-0" clear depth between window and rear wall. Windows within this zone shall not be screened by film, decals, and other opaque material, glazing finishes or window treatments. The maximum sill height for required transparency shall not Urban Design Open exceed 4'-0" above adjacent street sidewalk.
- c) The facades of first/ground RZ-4 floor of the buildings along streets shall incorporate a minimum of 30% masonry materials such as brick or stone.
- d) Direct pedestrian connections shall be provided between street facing doors, corner entrance features to sidewalks on adjacent streets.
- e) Building elevations shall not have expanses of blank walls greater than 20 feet in all directions and architectural features walls
- f) Building elevations shall be designed with vertical bays or articulated architectural features which shall include a combination of at least three of the following: a combination of exterior wall offsets (projections and recesses), columns, pilasters, change in materials or colors, awnings, arcades, or other architectural elements.
- g) Buildings shall be a minimum height of 22'.
- h) Multi-story buildings shall have a minimum of 20% transparency on all upper stories.

iii. **Service Areas, Drive-Through Lanes & Mechanical Equipment.** The service areas of the new buildings constructed within Development Area B will be screened from the adjoining Public Roads with walls designed to complement the building architecture of the adjacent buildings and/or landscaping. Architectural features such as, but not limited to, banding, medallions, changes in color or design features or materials will be provided to avoid a sterile, unarticulated blank treatment of such walls. Drive-throughs located between the building and the street shall be screened with landscaping and/or low masonry walls.

iv. **Screening of Structures.** Meter banks, transformers and similar utility structures will be screened where visible from public view at grade level.

v. **Backflow Preventers.** Above ground back flow preventers and transformers will not be located within the Open Space Areas or within the required Urban Open Space unless they are required to serve the Open Space Areas in which they are located. Above ground back flow preventers and transformers that are located within the Open Space Areas as allowed by this Section will be screened.

vi. **Mechanical Equipment Screening.** Roof top HVAC and related mechanical equipment will be screened from public view at grade level at the right-of-way location.

vii. **Dumpster Screening.** Dumpster areas and recycling areas will be enclosed by a solid wall or fence with one side being a decorative gate. The wall or fence used to enclose the dumpster will be architecturally compatible with the building materials and colors used on the principal building.

c. **Multi-Family Design Guidelines.** The following provisions shall only apply to multi-family development taking place on the Site:

**General Site Considerations:**

i. Buildings shall front a minimum of 50% of the total required street frontage along Dixie River Road and Public Street A on the Site (exclusive of driveways, pedestrian access, points, accessible open space, tree save or natural areas, tree replanting areas and storm water facilities).

ii. All principal and accessory buildings abutting Dixie River Road and Public Street shall comprise a minimum of 30% of that building's entire façade facing such network street using brick, natural stone (or its synthetic equivalent), stucco or other material approved by the Planning Director. Vinyl shall be prohibited except for handrails, windows or door trim.

**Facade Composition & Articulation**

iii. The principal entrance of a building shall be articulated and expressed in greater architectural detail than other building entrances.

iv. Ground floor elevations shall be treated with a combination of fenestration, clear glass, prominent entrances, change in materials, building step backs, art work and landscaping. Blank walls cannot be addressed with landscape elements only.

v. The Facades of first/ground floor of the buildings along Public Roads shall incorporate a minimum of 25% masonry materials such as brick, stucco or stone.

vi. Public Road fronting Facades and End fronting Facades shall be articulated and designed to create additional visual interest by varying architectural details, building materials, the roof line, and building offsets.

vii. First Story Facades of all buildings along Public Roads shall incorporate columns, awnings, arcades, windows, doors, or other architectural elements.

viii. Facades shall provide visual divisions between the first two stories and the upper level stories, when the building height is more than two stories, through architectural means such as courses, awnings, or a change in primary façade materials or colors.

ix. Facades above the first two stories shall incorporate windows, arches, or other architectural details.

x. Foundations, where provided, shall be constructed as a distinct building element that contrasts with Facade materials. Exposed above-ground foundations shall be coated or faced in cement, stucco, brick, manufactured stone, or natural stone to contrast with facade materials.

xi. Building elevations shall be designed with vertical bays or articulated architectural façade features which may include but not be limited to a combination of exterior wall offsets, projections, recesses, pilasters, banding and change in materials or colors.

xii. Buildings shall be designed with a recognizable architectural base on all facades facing public roads. Such base may be executed through use of Preferred Exterior Building Materials or articulated architectural façade features and color changes.

xiii. Long pitched or flat roof lines shall avoid continuous expanses without variation by including changes in height and/or roof form, to include but not be limited to gables, hips, dormers or parapets.

d. **Single Family Attached Design Guidelines.** The following provisions shall only apply to single-family attached development taking place on the Site:

i. To provide privacy, all residential entrances within 15 feet of the sidewalk must be raised from the average sidewalk grade a minimum of 24 inches.

ii. Pitched roofs, if provided, shall be symmetrically sloped no less than 5:12, except that roofs for porches and attached sheds may be no less than 2:12, unless a flat roof architectural style is employed.

iii. Usable porches and stoops shall form a predominant feature of the building design and be located on the front and/or side of the building. Usable front porches, when provided, should be covered and be at least 6 feet deep. Stoops and entry-level porches may be covered but should not be enclosed.

iv. All corner/end units that face a public or private street should have a porch or stoop that wraps a portion of the front and side of the unit or provide blank wall provisions that limit the maximum blank wall expanse to 10 feet on all building levels.

v. Garage doors visible from public or private streets should minimize the visual impact by providing a setback of 12 to 24 inches from the front wall plane and additional architectural treatments such as translucent windows or projecting elements over the garage door opening.

vi. Walkways should be provided to connect all residential entrances to sidewalks along public and private streets.

vii. Townhouse and Attached Single Family buildings fronting public or private network required streets should be limited to 5 individual units or fewer. The number of individual units per building should be varied in adjacent buildings if multiple 5-unit buildings are adjacent.

**6. Streetscape, Landscaping and Buffer:**

a. **Steele Creek Road.** A thirty-foot (30') setback as measured from the existing back of curb of Steele Creek Road will be provided in Development Area B. An ~~(twelve (12))~~ <sup>(eight (8))</sup> foot sidewalk and minimum eight (8) foot planting strip will be provided along Steele Creek Road.

b. **Shopton Road West Extension.** A twenty-foot (20') setback as measured from the right-of-way will be provided along Shopton Road West Extension. An eight (8) foot sidewalk and a minimum of an eight (8) foot planting strip will be provided along Shopton Road West Extension.

c. **Dixie River Road Extension.** A ~~twenty-foot (20')~~ <sup>eight (8)</sup> foot setback as measured from the existing back of curb of Dixie River Road Extension will be provided. An ~~(eight (8))~~ <sup>(eight (8))</sup> foot sidewalk and minimum eight (8) foot planting strip will be provided along Dixie River Road Extension.

d. **Public Street A (~~C, D, and E~~).** Along Site's frontage on Public Street A (~~C, D, and E~~) a 20 foot setback as measured from the back of curb will be provided. An eight (8) foot planting strip and an eight (8) foot sidewalk will be provided within this setback. ~~(It is noted that the cross section for Public Street C transitions from a local office to a residential wide street classification.)~~

e. **Private Street B.** A 20 foot setback as measured from the back of curb will be provided along Private Street B. An eight (8) foot planting strip and an eight (8) foot sidewalk will be provided along Private Street B.

f. **Williams Glenn Road Extension.** A 20 foot setback as measured from the back of curb will be provided along Williams Glenn Extension. An ~~(eight (8))~~ <sup>(eight (8))</sup> foot planting strip and a six (6) foot sidewalk will be provided along Williams Glenn Extension.

g. **Buffer and/or Landscape Areas.** Buffers and landscaped areas shall be provided in the manner as generally depicted on the Rezoning Plan. *All buffers can be reduced per the provisions of the Ordinance.*

**7. Environmental Features & Open Space**

a. **Post Construction Ordinance.** The Petitioner shall comply with the Charlotte City Council approved and adopted Post Construction Controls Ordinance.

b. **Storm Water Approval.** The location, size, and type of storm water management system depicted on the Rezoning Plan are subject to review and approval as part of the full development plan submittal and are not implicitly approved with this rezoning. Adjustments may be necessary in order to accommodate actual storm water treatment requirements and natural site discharge points.

c. **Tree Ordinance.** The Site will comply with the Tree Ordinance. ~~(Tree save area are generally depicted on the Rezoning Plan and are subject to change upon further engineering of the Site.)~~

d. **SWIM/PCSO Buffer.** Development within any SWIM/PCSO Buffer shall be coordinated with and subject to approval by Charlotte-Mecklenburg Storm Water Services and mitigated if required by City ordinance. Petitioner acknowledges intermittent/perennial stream delineation reports are subject to review and approval upon submission of development plans for permitting and are not approved with rezoning decisions."

e. **Greenway Dedication.** The Petitioner shall dedicate a thirty-five (35) foot SWIM buffer as an easement on the western side of Steele Creek along the eastern side of the site to Mecklenburg County for storm water and development of the future Steele Creek Greenway prior to the first certificate of occupancy within the applicable Development Area. Tree save area for the overall development may be permitted in this area. It is noted, the 35' SWIM buffer may not be entirely within the Site.

f. **Open Space Park Dedication.** The Petitioner shall dedicate Development Area E2 to Mecklenburg County Park and Recreation for a future neighborhood park to be developed by Mecklenburg County and/or others. The minimum size of the area to be dedicated shall be two (2) acres. Tree save for the overall development shall not be permitted in this area.

g. **Open Space Generally.** In addition to open space areas improved with greenway amenities as may be developed by Mecklenburg County Park & Recreation, the Petitioner shall provide a minimum of one (1) acre of useable open space area(s) located throughout the Site. The useable open space shall include benches, seating areas, trails, and/or other opportunities to recreate or gather outdoors.

**8. Signage:**

a. Signage as allowed by the Ordinance and by the Optional Provisions listed above may be provided.

**9. CATS:**

a. At the request of CATS, the Petitioner shall install two (2) ADA compliant standard concrete bus waiting pads along the Dixie River Road Extension and one (1) along Steele Creek Road frontage in locations reasonably acceptable to CATS and the Petitioner. Installation of the pads shall take place prior to issuance of the first certification occupancy for the first building within the adjacent Development Area.

**10. Lighting:**

a. All new lighting within the Site shall be full cut-off type lighting fixtures excluding lower, decorative lighting that may be installed along the driveways, sidewalks, and parking areas in portions of the Site.

b. Detached lighting within the Site, except street lights located along Public Roads and within parking areas for the health care facility on the Site, will be limited to 25 feet in height in the portions of the Site for non-residential uses and 20 feet in height in the portions of the used for residential uses.

c. Lighting for the portion of the Site used for the health care facility on the Site shall comply with Ordinance standards.

**11. Amendments to the Rezoning Plan:**

a. Future amendments to the Rezoning Plan (which includes these Development Standards) may be applied for by the then Owner or Owners of the applicable Development Area portion of the Site affected by such amendment in accordance with the provisions herein and of Chapter 6 of the Ordinance.

**12. Binding Effect of the Rezoning Application:**

a. If this Rezoning Petition is approved, all conditions applicable to the development of the Site imposed under the Rezoning Plan will, unless amended in the manner provided herein and under the Ordinance, be binding upon and inure to the benefit of the Petitioner and subsequent owners of the Site and their respective heirs, devisees, personal representatives, successors in interest or assigns.

KEY MAP

SCALE

PROJECT

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(1997), LLC**

CHARLOTTE, NC  
REZONING  
RZP-2021-093


LANDESIGN PROJ.# 1021001

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DESIGNED BY: KST  
DRAWN BY: JYK  
CHECKED BY: KST

SCALE: NORTH



VERT: N/A  
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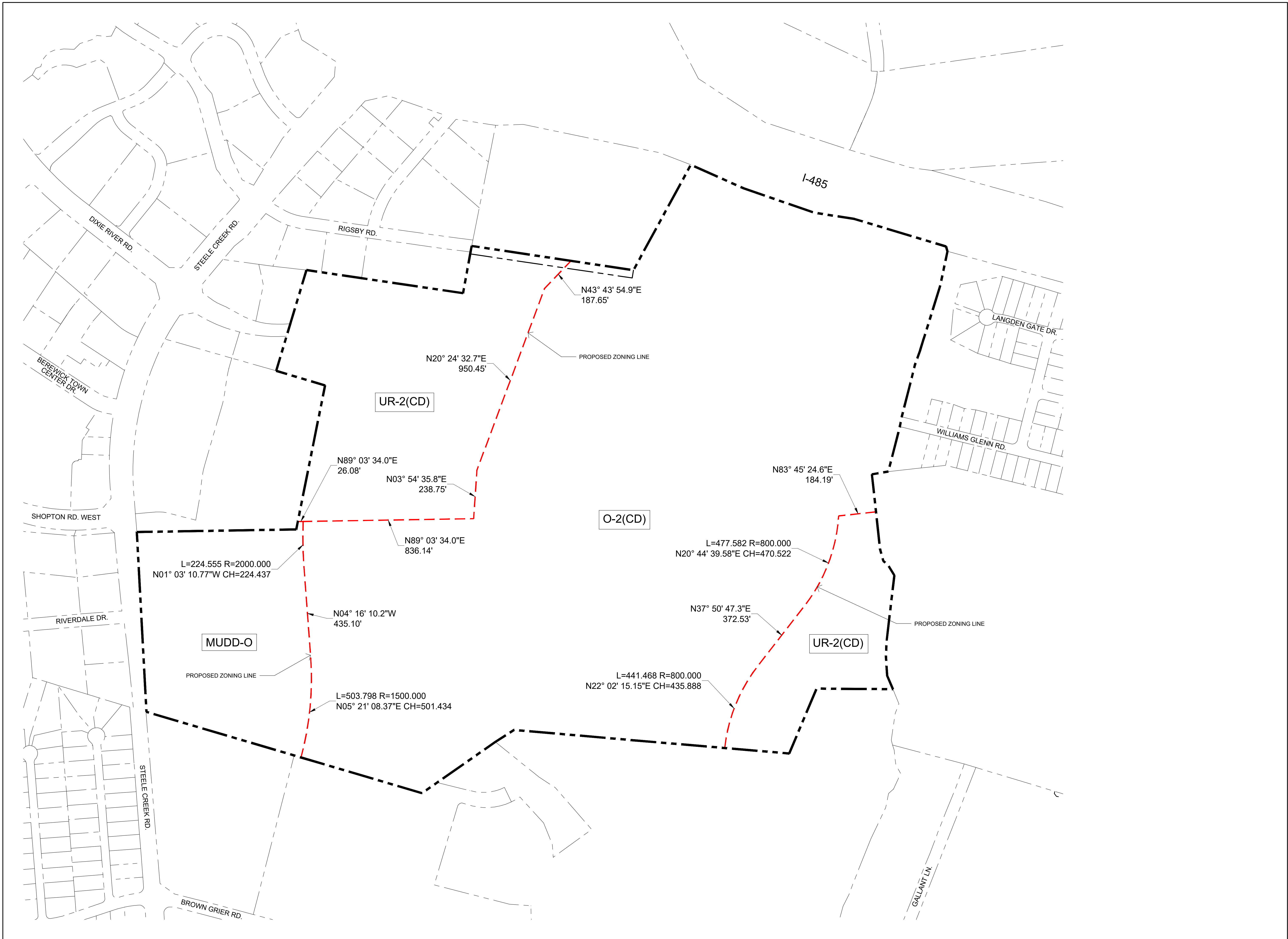
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SHEET TITLE

**DEVELOPMENT STANDARDS**

SHEET NUMBER

**RZ-6**



KEY MAP

SEAL

PROJECT

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CHECKED BY: KST

SCALE

VERT: N/A  
HORZ: 1"=200'

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ORIGINAL SHEET SIZE: 24" X 36"

SHEET TITLE

ZONING BOUNDARY

SHEET NUMBER

**RZ-7**