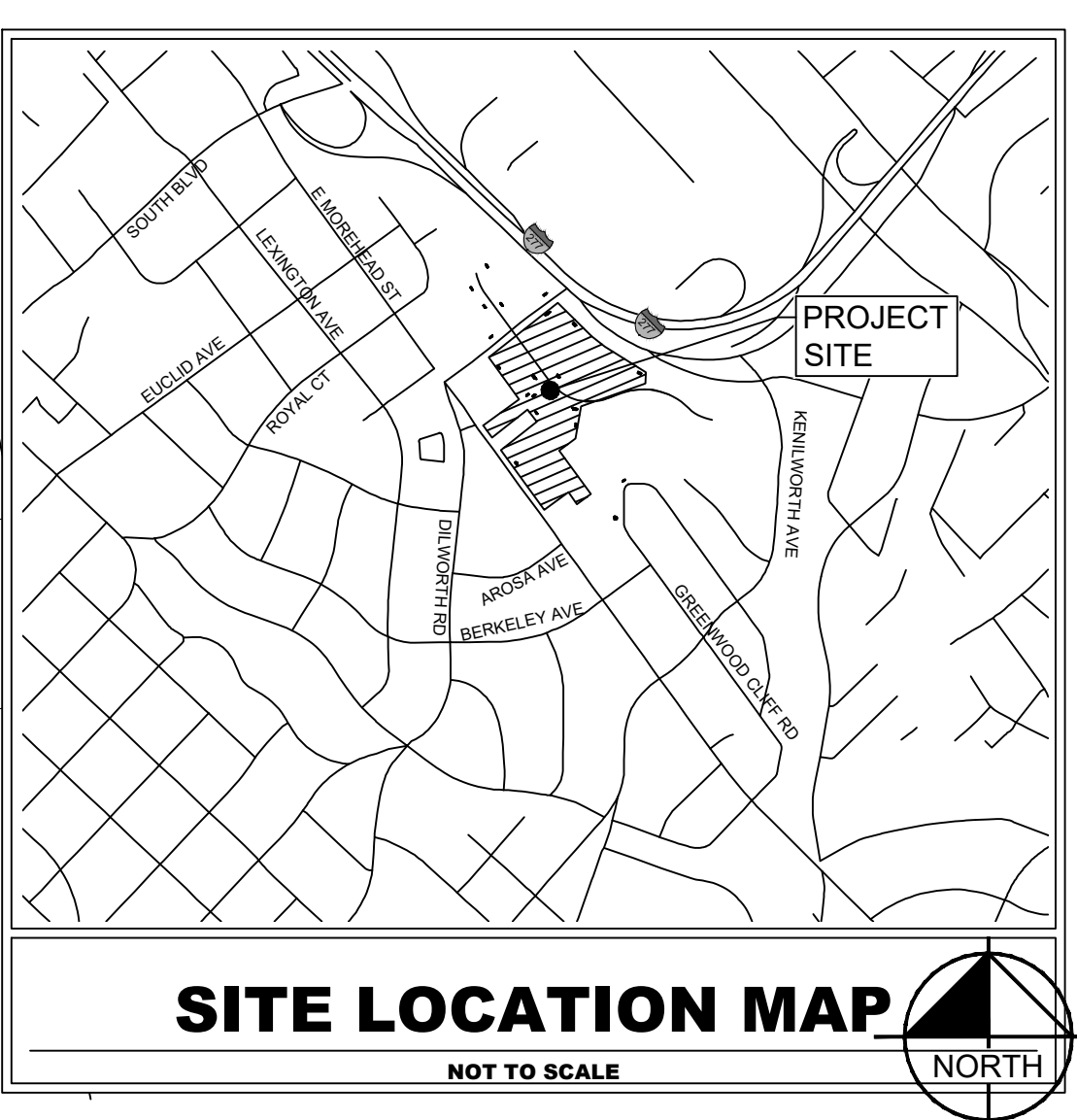
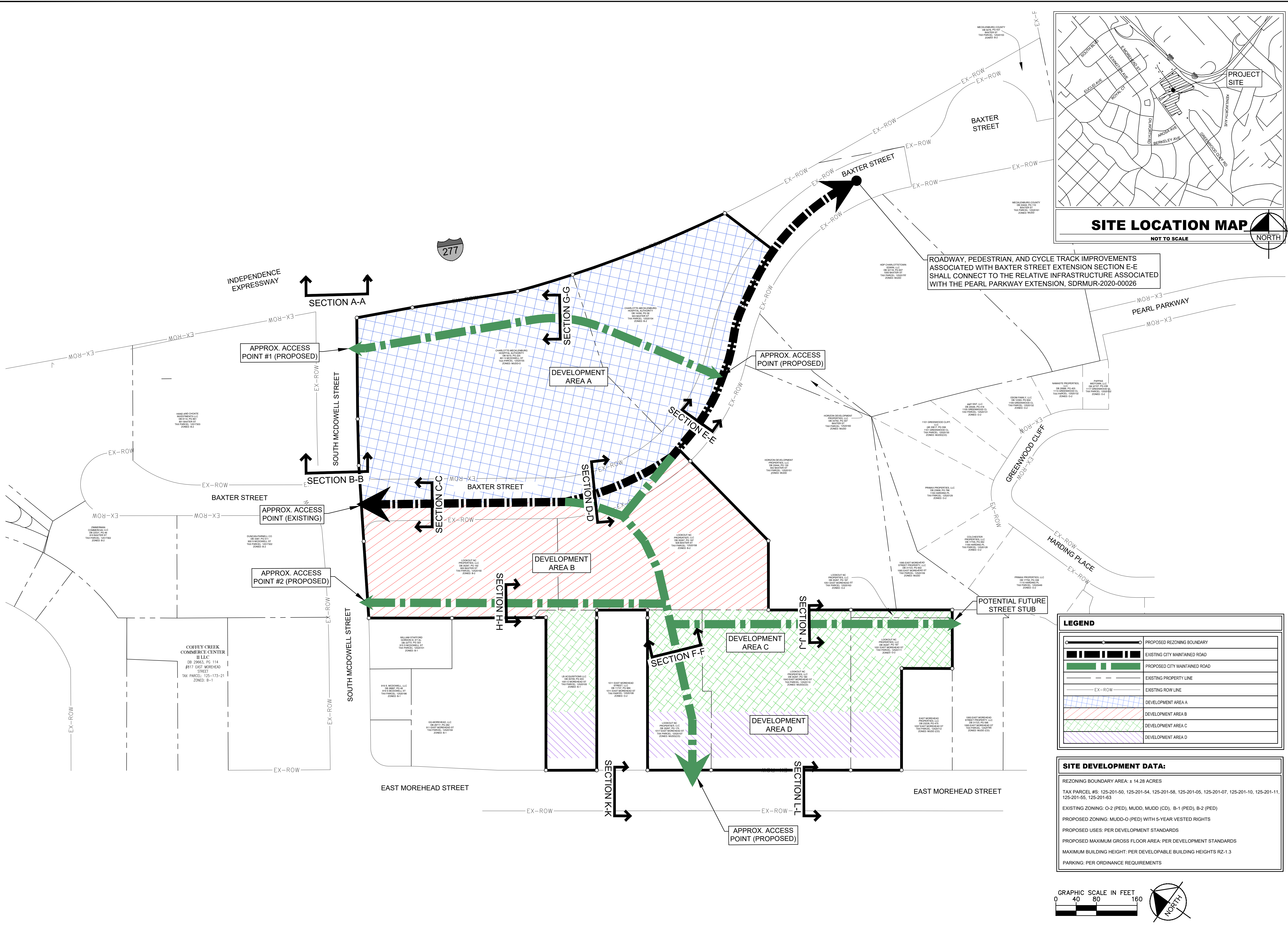


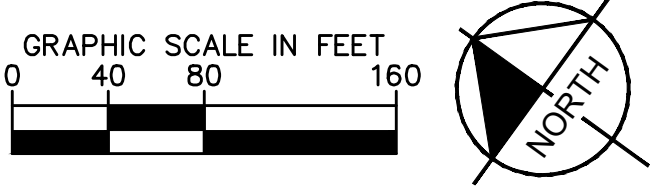
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ROADWAY, PEDESTRIAN, AND CYCLE TRACK IMPROVEMENTS ASSOCIATED WITH BAXTER STREET EXTENSION SECTION E-E SHALL CONNECT TO THE RELATIVE INFRASTRUCTURE ASSOCIATED WITH THE PEARL PARKWAY EXTENSION, SDRMUR-2020-00026

LEGEND	
	PROPOSED REZONING BOUNDARY
	EXISTING CITY MAINTAINED ROAD
	PROPOSED CITY MAINTAINED ROAD
	EXISTING PROPERTY LINE
	EXISTING ROW LINE
	DEVELOPMENT AREA A
	DEVELOPMENT AREA B
	DEVELOPMENT AREA C
	DEVELOPMENT AREA D

SITE DEVELOPMENT DATA:	
REZONING BOUNDARY AREA:	± 14.28 ACRES
TAX PARCEL #S:	125-201-50, 125-201-54, 125-201-58, 125-201-05, 125-201-07, 125-201-10, 125-201-11, 125-201-55, 125-201-63
EXISTING ZONING:	O-2 (PED), MUDD, MUDD (CD), B-1 (PED), B-2 (PED)
PROPOSED ZONING:	MUDD-O (PED) WITH 5-YEAR VESTED RIGHTS
PROPOSED USES:	PER DEVELOPMENT STANDARDS
PROPOSED MAXIMUM GROSS FLOOR AREA:	PER DEVELOPMENT STANDARDS
MAXIMUM BUILDING HEIGHT:	PER DEVELOPABLE BUILDING HEIGHTS RZ-1.3
PARKING:	PER ORDINANCE REQUIREMENTS



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KH PROJECT	015031128
DATE	08/16/2021
SCALE	AS SHOWN
DESIGNED BY	AW
DRAWN BY	AW
CHECKED BY	MP

TECHNICAL DATA SHEET

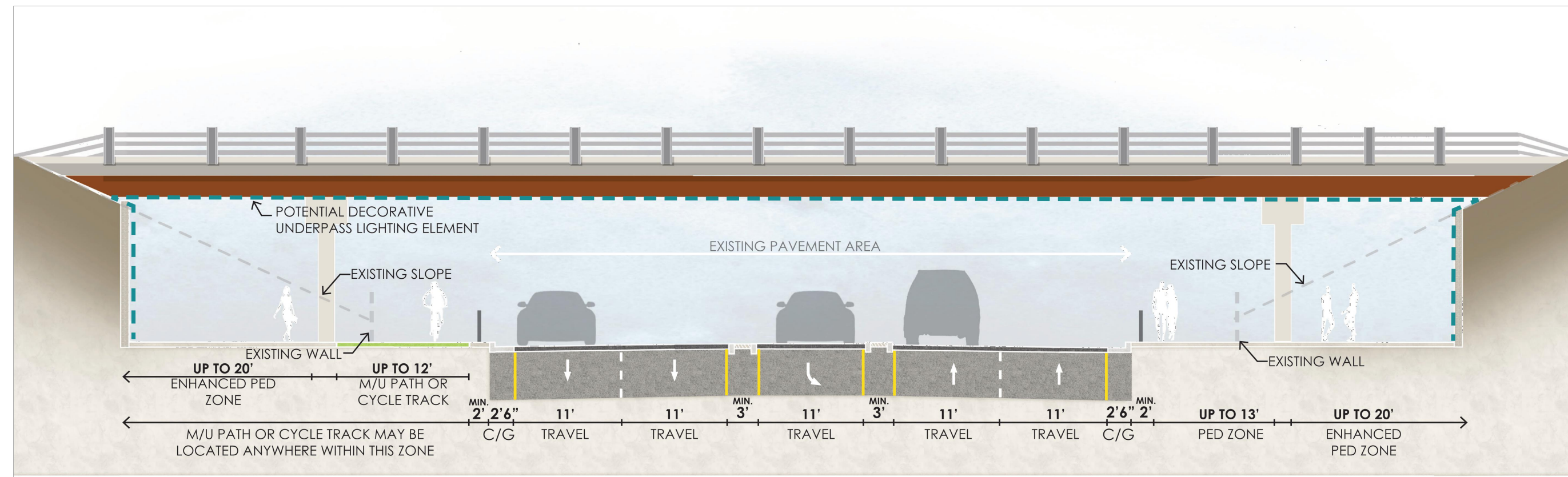
CHARLOTTE INNOVATION COMMUNITY PREPARED FOR ATRIUM HEALTH CITY OF CHARLOTTE NORTH CAROLINA REZONING PETITION No.2021-092

SHEET NUMBER RZ-1.0

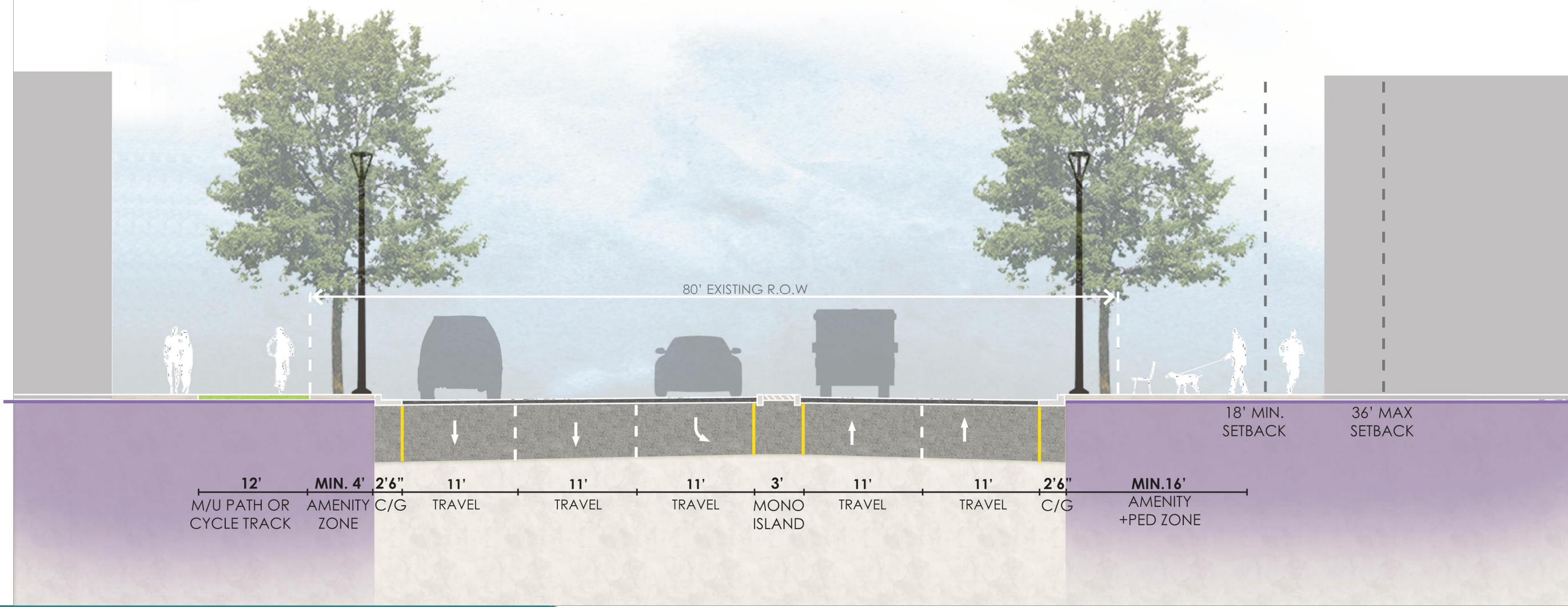
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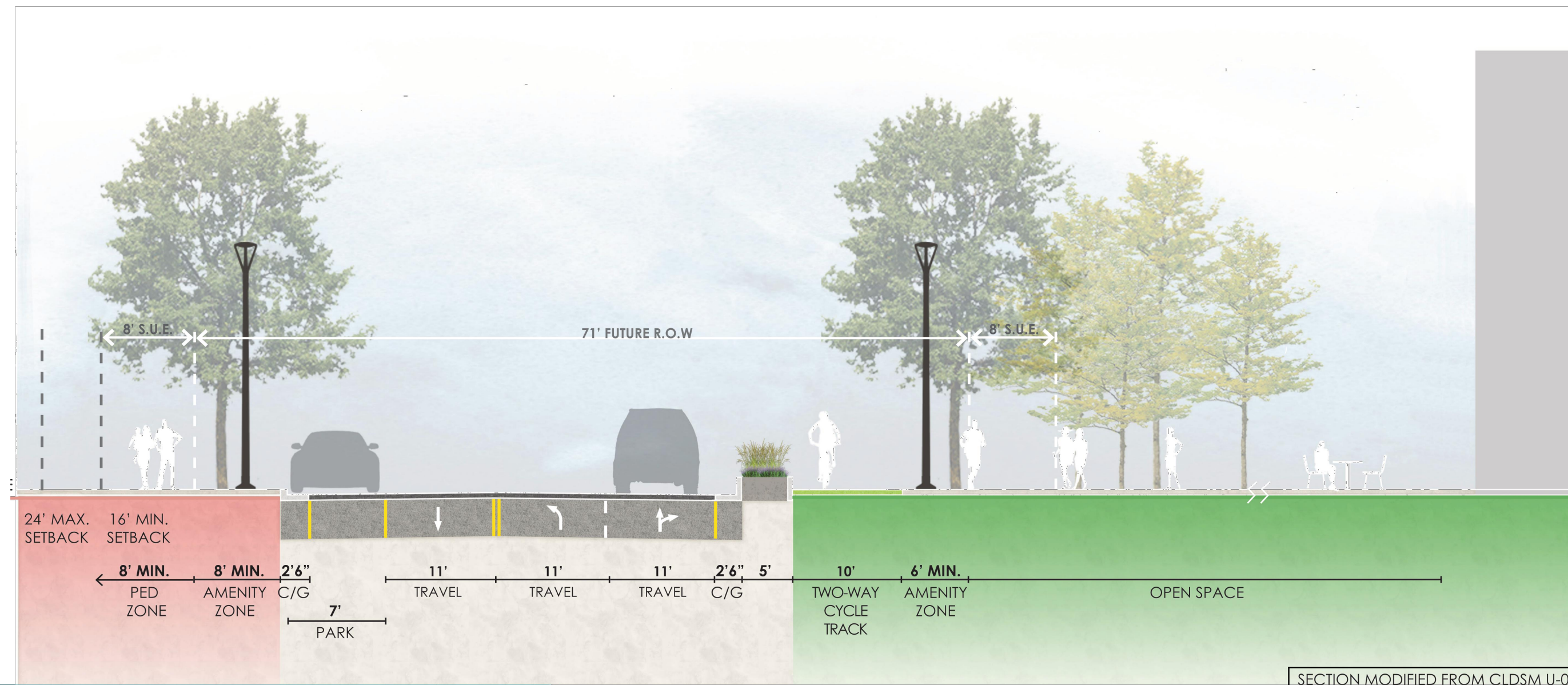
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 1. SUE LOCATIONS TO BE DETERMINED DURING SITE PERMITTING
 2. ALL LANE DIMENSIONS SHOWN INDICATE THE MINIMUM REQUIRED LANE WIDTH



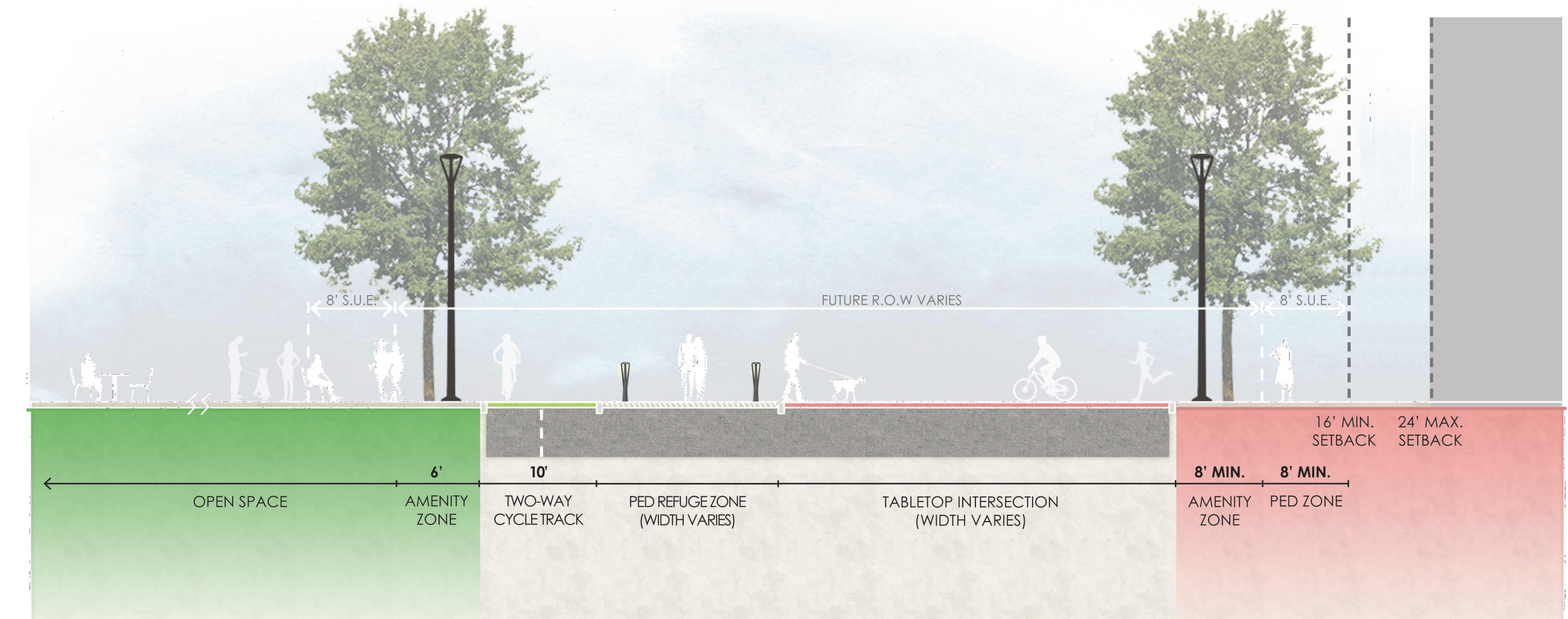
SECTION A-A S. MCDOWELL AT I-277 UNDERPASS



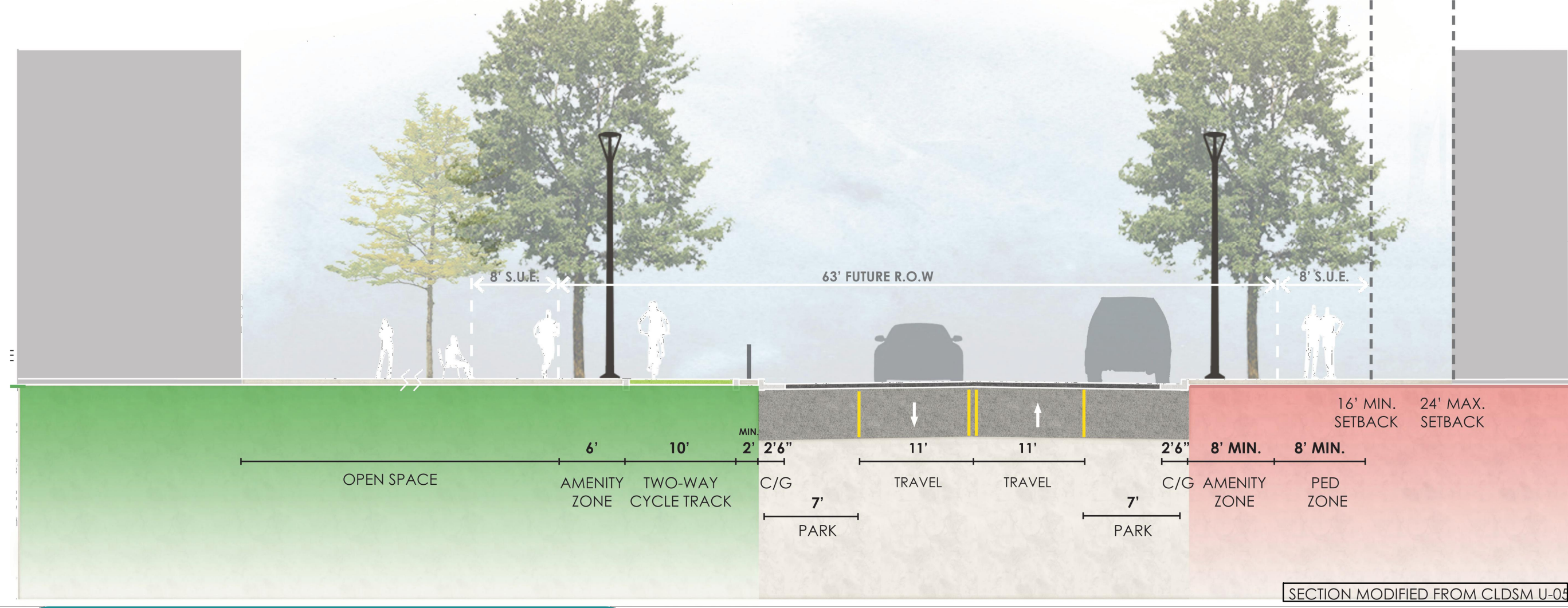
SECTION B-B S. MCDOWELL AT BAXTER STREET



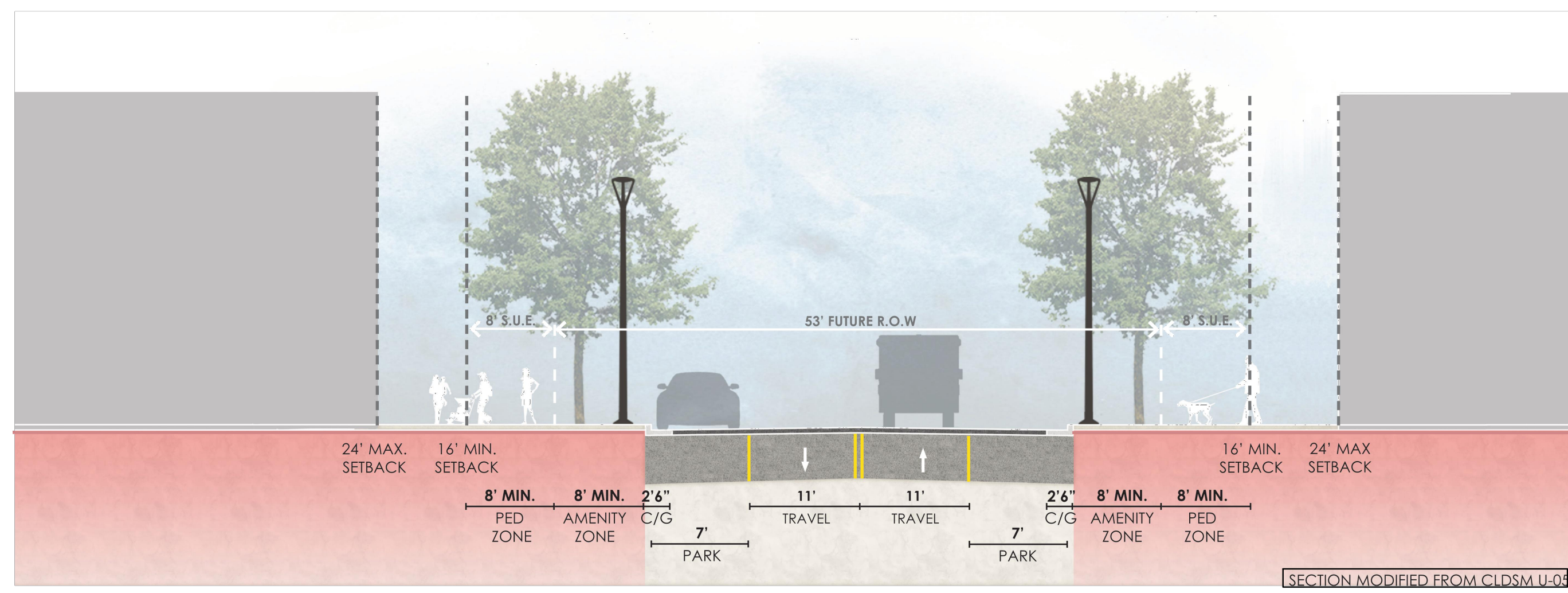
SECTION C-C BAXTER STREET



SECTION D-D BAXTER STREET



SECTION E-E PEARL PARKWAY



SECTION F-F NEW ROADWAY

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 DATE: 08/16/2021
 SCALE: AS SHOWN
 DESIGNED BY: BN
 DRAWN BY: BN
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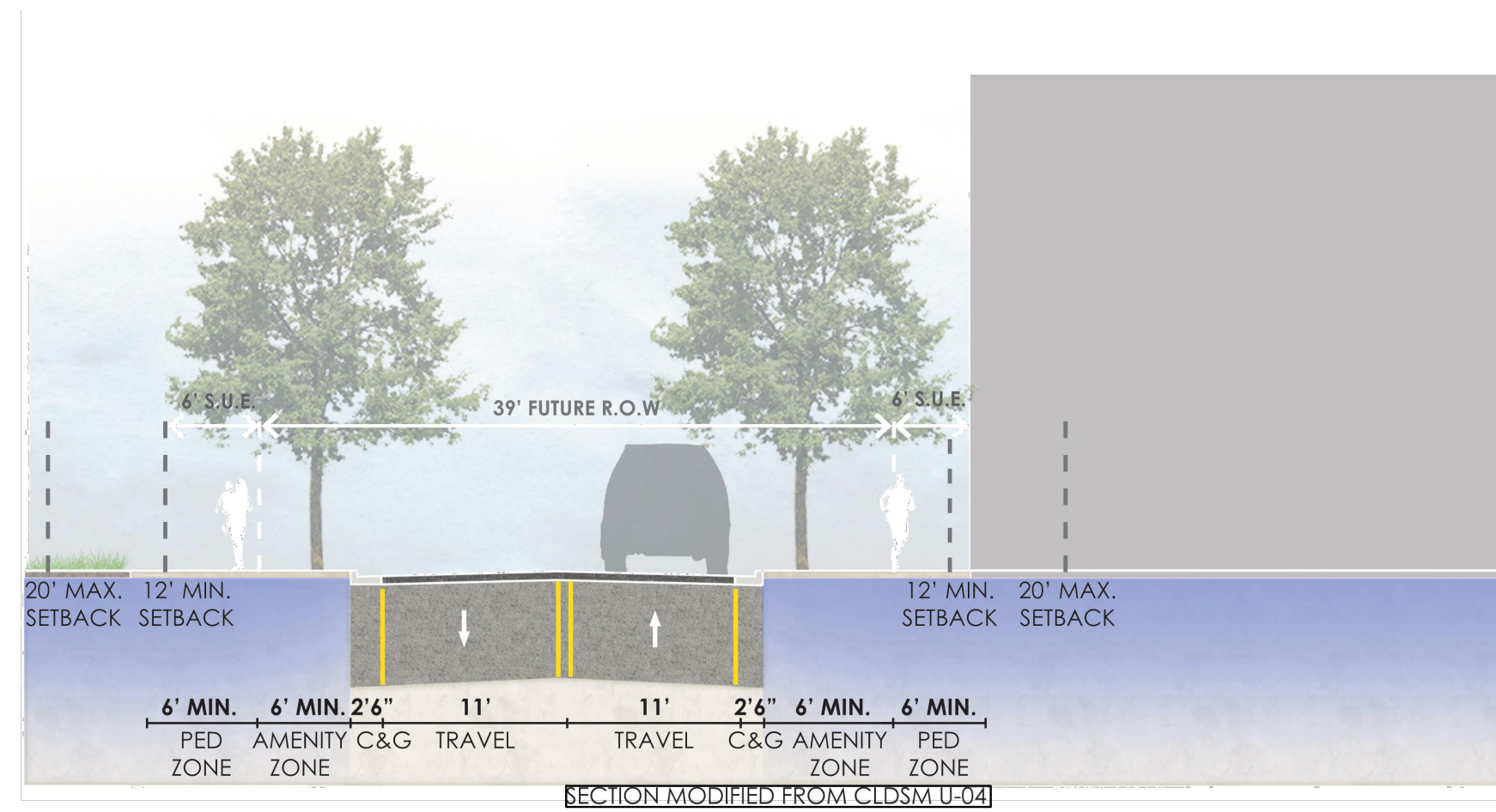
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CHARLOTTE INNOVATION COMMUNITY
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 ATRIUM HEALTH
 NORTH CAROLINA

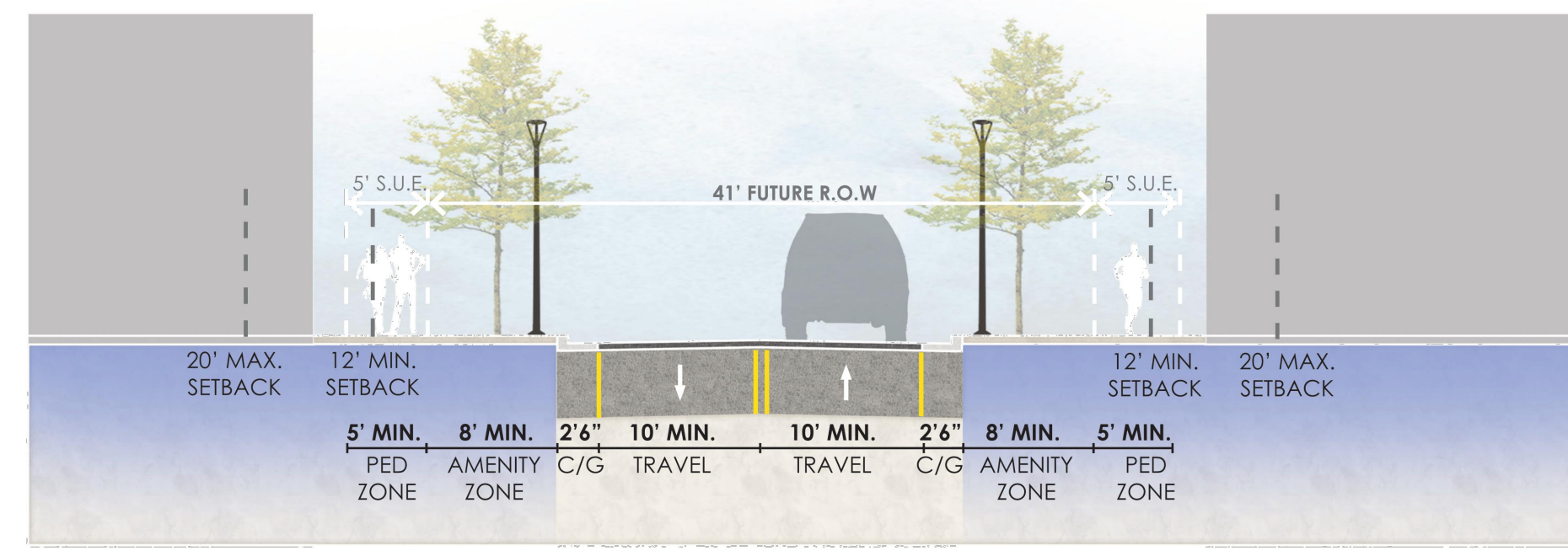
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RZ-1.1

Plotted By: Camille, Pat. Sheet Set: Atrium - C/C Resoning. Layout: RZ-1.2 TYPICAL SECTIONS. November 18, 2021. 04:41:09pm. \\kimley-horn.com\SE_CHE\CHL_PRA\015031_Carolinas Healthcare System\128 C/C Resoning and Design\02 - DWG\PlanSheets\1-0 - Rezoning_RZ\1.2 - Technical Data. SHEET.dwg

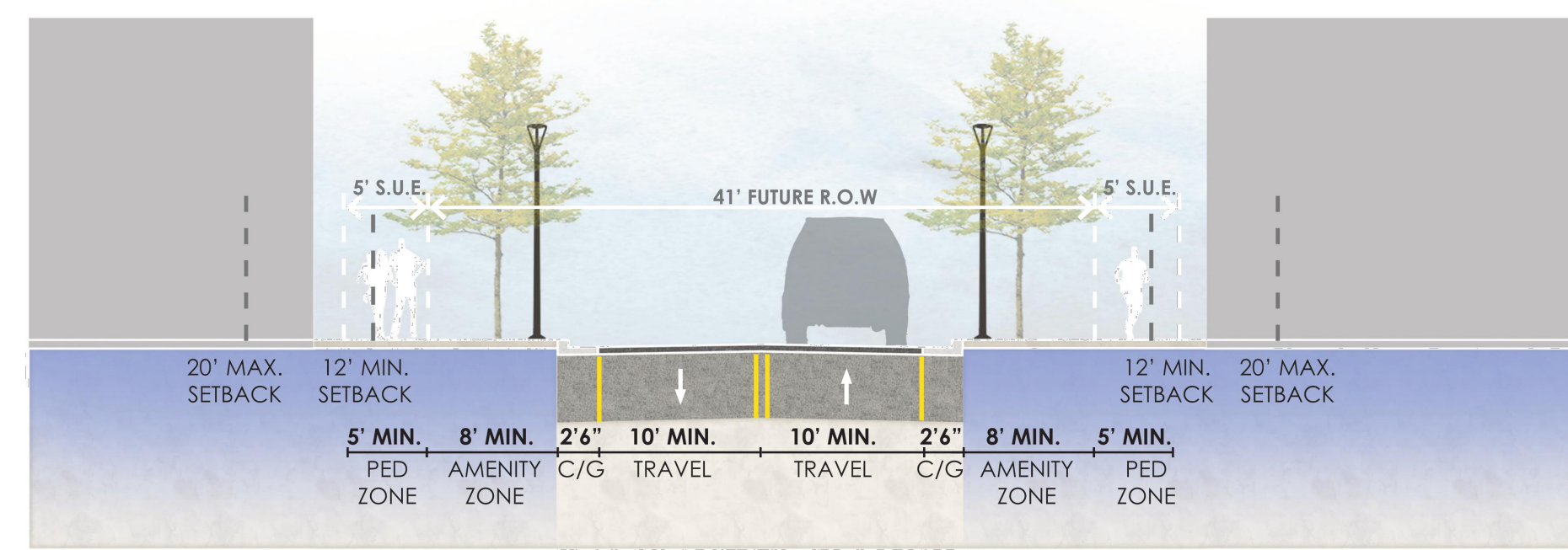
NOTES:
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 2. ALL LANE DIMENSIONS SHOWN INDICATE THE MINIMUM REQUIRED LANE WIDTH



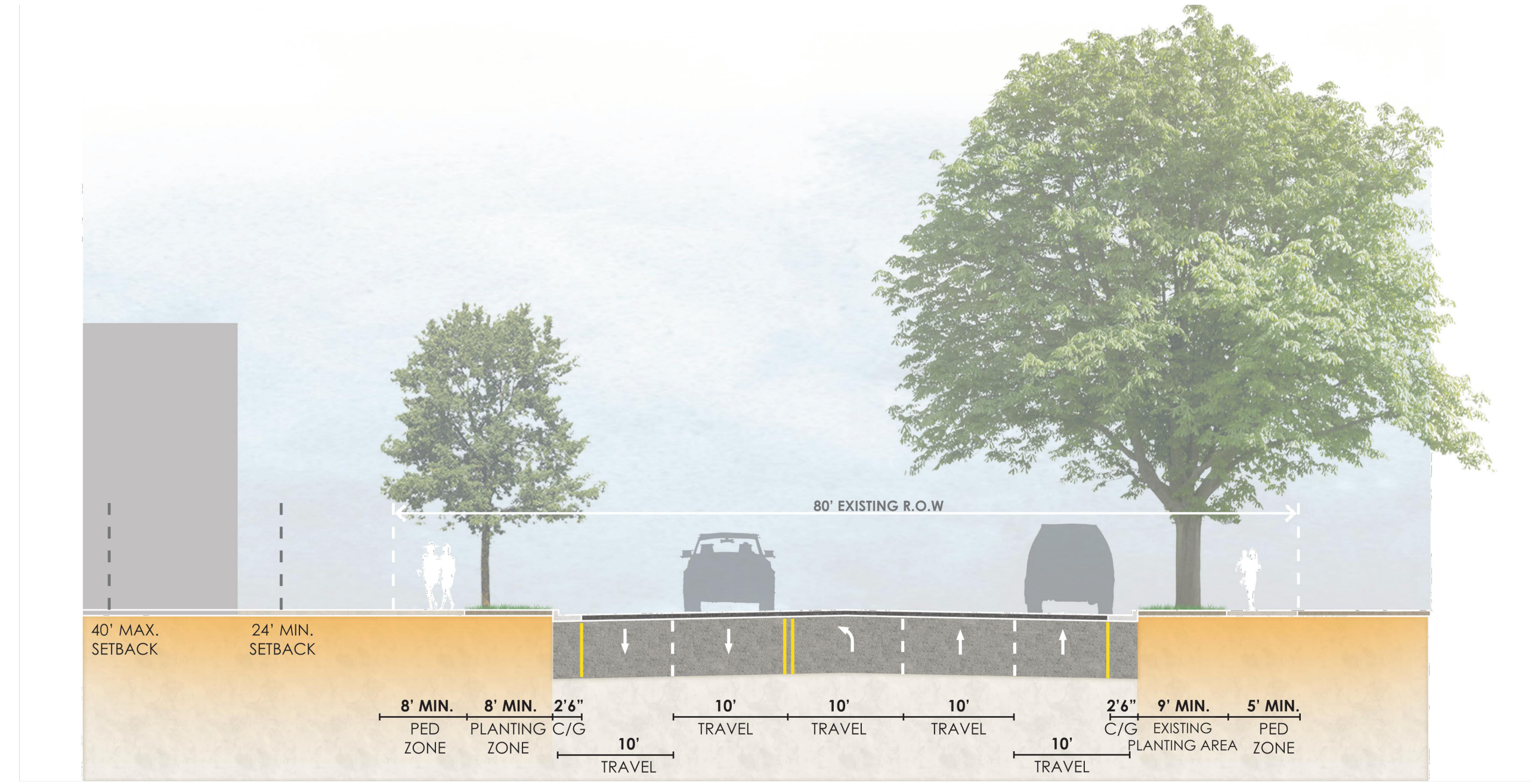
SECTION G-G NEW ROADWAY



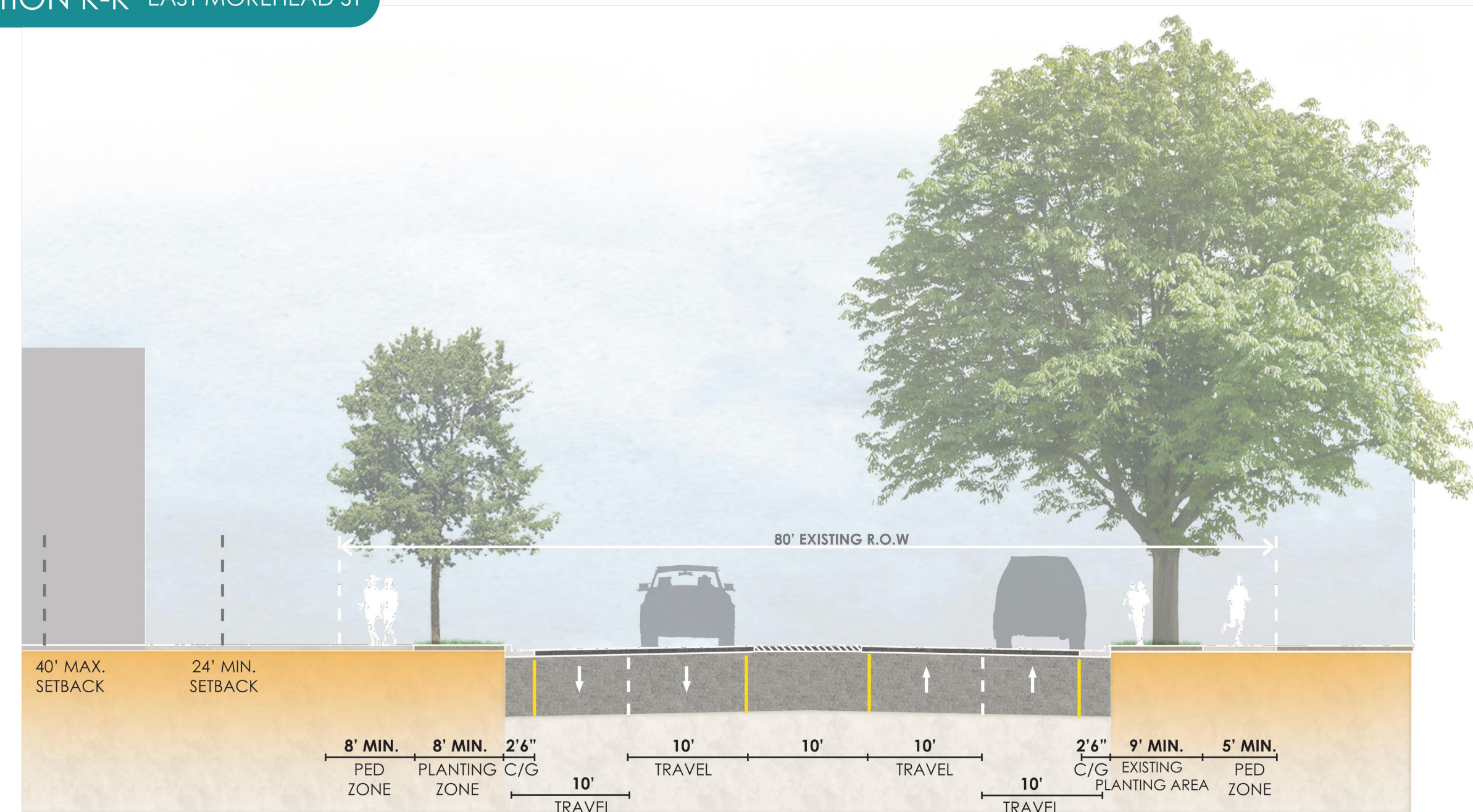
SECTION H-H NEW ROADWAY



SECTION J-J NEW ROADWAY



SECTION K-K EAST MOREHEAD ST



SECTION L-L EAST MOREHEAD ST

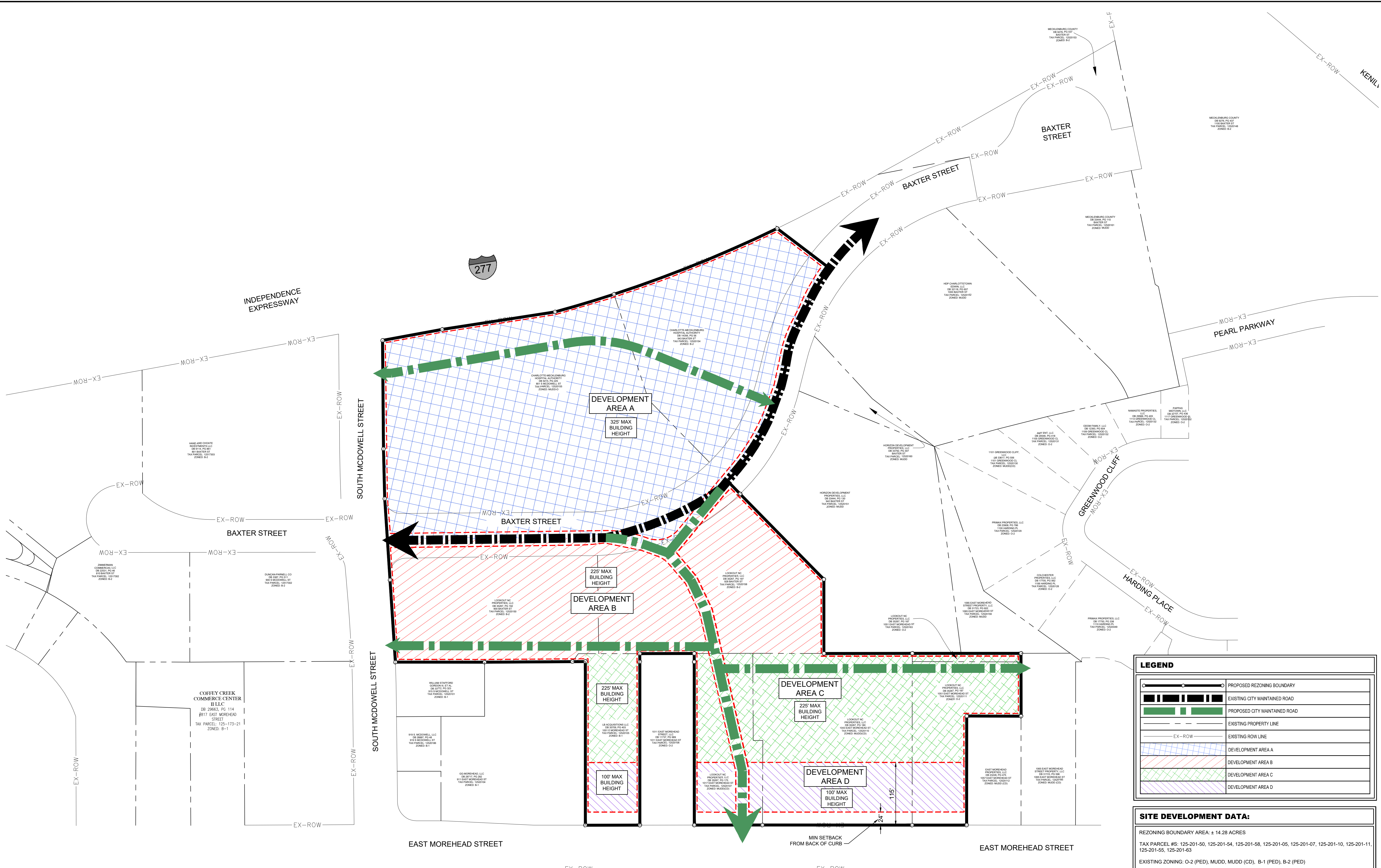
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TYPICAL SECTIONS
 REZONING PETITION No.2021-092

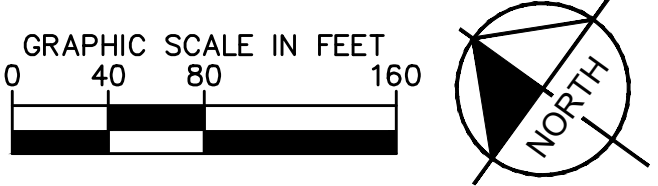
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 INNOVATION COMMUNITY
 PREPARED FOR
 ATRIUM HEALTH
 NORTH CAROLINA
 CITY OF CHARLOTTE

SHEET NUMBER
RZ-1.2



LEGEND	
	PROPOSED REZONING BOUNDARY
	EXISTING CITY MAINTAINED ROAD
	PROPOSED CITY MAINTAINED ROAD
	EXISTING PROPERTY LINE
	EXISTING ROW LINE
	DEVELOPMENT AREA A
	DEVELOPMENT AREA B
	DEVELOPMENT AREA C
	DEVELOPMENT AREA D

SITE DEVELOPMENT DATA:	
REZONING BOUNDARY AREA:	± 14.28 ACRES
TAX PARCEL #S:	125-201-50, 125-201-54, 125-201-55, 125-201-07, 125-201-10, 125-201-11, 125-201-55, 125-201-63
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PROPOSED ZONING:	MUDD-O (PED) WITH 5-YEAR VESTED RIGHTS
PROPOSED USES:	PER DEVELOPMENT STANDARDS
PROPOSED MAXIMUM GROSS FLOOR AREA:	PER DEVELOPMENT STANDARDS
MAXIMUM BUILDING HEIGHT:	PER DEVELOPABLE BUILDING HEIGHTS RZ-1.3
PARKING:	PER ORDINANCE REQUIREMENTS



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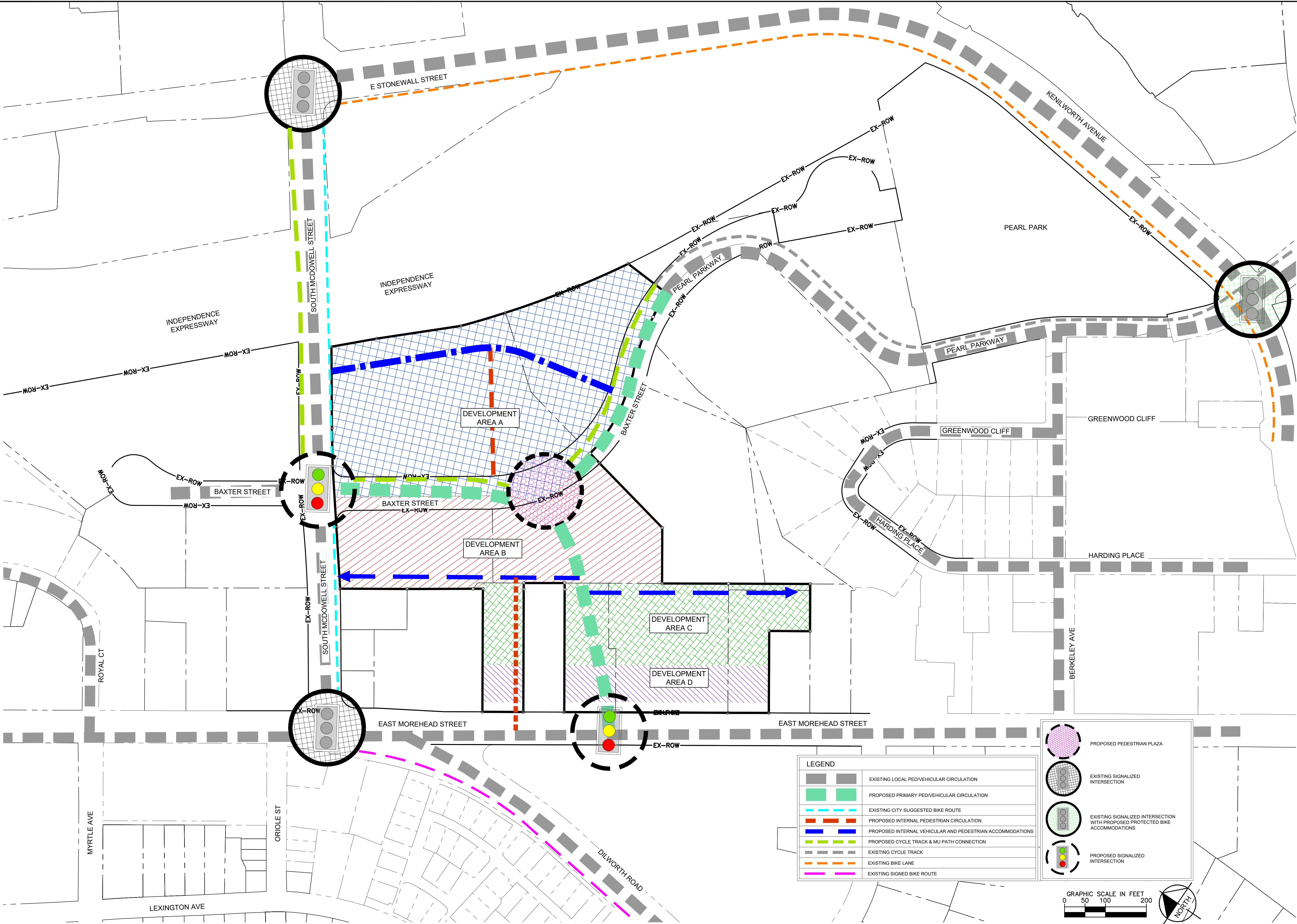
DEVELOPABLE BUILDING HEIGHTS

REZONING PETITION No. 2021-092

CHARLOTTE INNOVATION COMMUNITY PREPARED FOR ATRIUM HEALTH NORTH CAROLINA

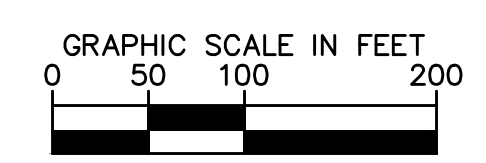
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LEGEND	
	EXISTING LOCAL PED/VEHICULAR CIRCULATION
	PROPOSED PRIMARY PED/VEHICULAR CIRCULATION
	EXISTING CITY SUGGESTED BIKE ROUTE
	PROPOSED INTERNAL PEDESTRIAN CIRCULATION
	PROPOSED INTERNAL VEHICULAR AND PEDESTRIAN ACCOMMODATIONS
	PROPOSED CYCLE TRACK & MU PATH CONNECTION
	EXISTING CYCLE TRACK
	EXISTING BIKE LANE
	EXISTING SIGNED BIKE ROUTE

	PROPOSED PEDESTRIAN PLAZA
	EXISTING SIGNALIZED INTERSECTION
	EXISTING SIGNALIZED INTERSECTION WITH PROPOSED PROTECTED BIKE ACCOMMODATIONS
	PROPOSED SIGNALIZED INTERSECTION



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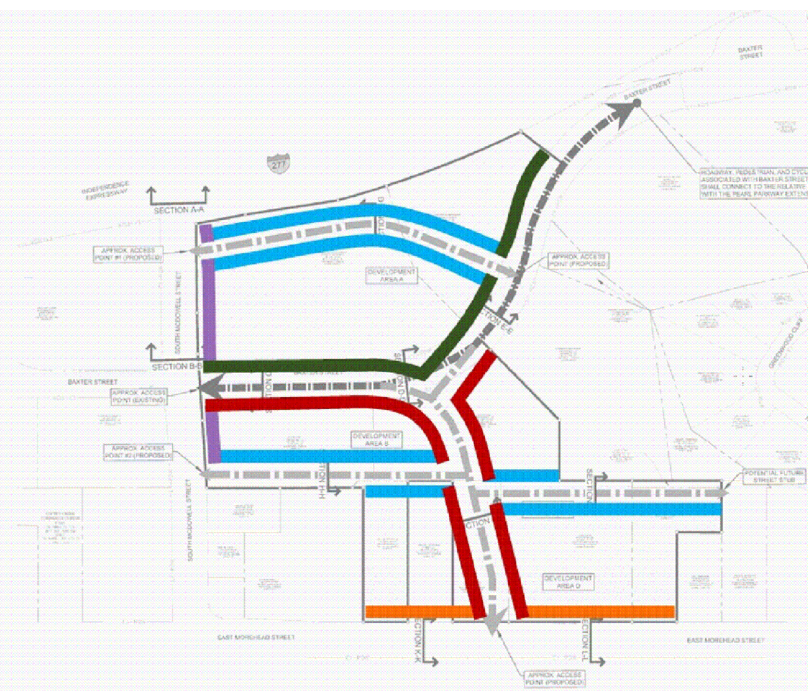
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 NORTH CAROLINA CITY OF CHARLOTTE

SHEET NUMBER **RZ-1.4**

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STREET FRONTAGE TYPES:

- McDowell
- Morehead
- District Main Street
- Open Space
- Tertiary



(2) BUILDING DIMENSIONS (BUILDING/WALL LENGTH)

- (a) IN INSTANCES WHERE THE URBAN WALL IS 450 FEET OR LONGER, AN INTERRUPTION OR BREAK IN THE URBAN WALL IS REQUIRED. PEDESTRIAN WAYS MAY ACCOMPANY THESE INTERRUPTIONS OR BREAKS TO PROVIDE ACCESS THROUGH A BLOCK OR ACCESS TO OPEN SPACES OR PARKING AT THE INTERIOR OF THE BLOCK. A BREAK OR INTERRUPTION IN THE URBAN WALL MAY BE ACHIEVED BY ONE OF THE FOLLOWING:
 - (i) CREATING AN EXTERIOR PASSAGE WAY FOR PEDESTRIANS OR EMERGENCY VEHICLES ONLY WITH A MINIMUM WIDTH OF 20 FEET EXTENDING ALL THE WAY THROUGH THE BLOCK TO ANOTHER PUBLIC WAY OR PARTIALLY EXTENDING INTO THE BLOCK TO PROVIDE ACCESS TO A PARKING GARAGE OR OPEN SPACE WITHIN THE INTERIOR OF THE BLOCK. BUILDINGS MAY SPAN OVER THE TOP OF THIS EXTERIOR WAY AT A MINIMUM HEIGHT OF 24 FEET AND A MINIMUM DISTANCE OF 20 FEET FROM THE BUILDING'S OUTER FACADE; OR
 - (ii) CREATING A MINIMUM 30 FOOT GAP BETWEEN THE PRIMARY MASSES OF BUILDINGS ABOVE THE THIRD FLOOR SUCH THAT ALL BUILDING FACADES ABOVE THE THIRD FLOOR ARE LESS THAN 450'.
- (b) NOTWITHSTANDING ANYTHING CONTAINED HEREIN TO THE CONTRARY, THE MAXIMUM BUILDING LENGTH ALONG THE MOREHEAD STREET FRONTAGE SHALL BE 350 FEET.

(3) BUILDING SITING

- (a) SETBACKS SHALL BE AS SET OUT BELOW BASED ON STREET FRONTAGE TYPE.
- (i) MCDOWELL STREET: A MINIMUM 18 FOOT SETBACK AND A MAXIMUM 36 FOOT SETBACK AS MEASURED FROM BACK OF CURB.
- (ii) DISTRICT MAIN STREET: A MINIMUM 16 FOOT SETBACK AND A MAXIMUM 24 FOOT SETBACK AS MEASURED FROM BACK OF CURB.
- (iii) MOREHEAD STREET: A MINIMUM 24 FOOT SETBACK AND A MAXIMUM 40 FOOT SETBACK AS MEASURED FROM BACK OF CURB.
- (iv) TERTIARY STREET: A MINIMUM 12 FOOT SETBACK AND A MAXIMUM 20 FOOT SETBACK AS MEASURED FROM BACK OF CURB.
- (v) OPEN SPACE: A MINIMUM 0 FOOT SETBACK AND A MAXIMUM 150 SETBACK AS MEASURED FROM THE PUBLIC RIGHT OF WAY.
- (b) SIDE YARD: 0 FOOT SIDE YARD, PROVIDED, HOWEVER, THAT A 10 FOOT SIDE YARD SHALL BE REQUIRED ADJACENT TO SINGLE FAMILY RESIDENTIAL USES.
- (c) REAR YARD: 0 FOOT REAR YARD, PROVIDED, HOWEVER, THAT A 10 FOOT REAR YARD SHALL BE REQUIRED ADJACENT TO SINGLE FAMILY RESIDENTIAL USES.

(4) MINIMUM BUILD-TO PERCENTAGE BY STREET FRONTAGE

- (a) FOR PURPOSES OF THIS SECTION 6.C(4) OF THE DEVELOPMENT STANDARDS, "BUILD-TO ZONE" SHALL MEAN THE AREA BETWEEN THE MINIMUM SETBACK AND THE MAXIMUM SETBACK, WHICH MINIMUM AND MAXIMUM SETBACKS ARE SET OUT ABOVE IN SECTION 6.C(3).
- (b) A BUILD-TO PERCENTAGE SPECIFIES THE PERCENTAGE OF THE BUILDING FACADE THAT SHALL BE LOCATED WITHIN THE BUILD-TO ZONE. FACADE ARTICULATION, SUCH AS WINDOW OR WALL RECESSES AND PROJECTIONS, DO NOT COUNT AGAINST THE REQUIRED BUILD-TO PERCENTAGE. PLAZAS, OUTDOOR DINING AND OTHER PUBLIC OPEN SPACE FEATURES THAT ARE ALSO BOUNDED BY A BUILDING FACADE PARALLEL TO THE FRONTAGE ARE COUNTED AS MEETING THE BUILD-TO PERCENTAGE. PRIVATE RESIDENTIAL COURTYARDS THAT ARE NO MORE THAN 18 INCHES ABOVE OR BELOW GRADE FOR RESIDENTIAL USES MAY BE COUNTED FOR UP TO 40% OF THE BUILD-TO PERCENTAGE IN RESIDENTIAL DEVELOPMENTS. BUILD-TO PERCENTAGE IS CALCULATED BY BUILDING FACADE, NOT LOT WIDTH.
- (c) THE MINIMUM BUILD-TO PERCENTAGE FOR EACH STREET FRONTAGE TYPE SHALL BE AS SET OUT BELOW.
 - (i) MCDOWELL STREET, MOREHEAD STREET AND DISTRICT MAIN STREET: 80%.
 - (ii) OPEN SPACE: 80%.
 - (iii) TERTIARY STREET: 60%.

(5) REQUIRED HEIGHT STEPBACK ON DEVELOPMENT AREA D

- (a) FOR ANY BUILDING LOCATED ON DEVELOPMENT AREA D, BUILDING HEIGHT ABOVE 80 FEET SHALL REQUIRE A MINIMUM BUILDING STEPBACK OF 10 FEET FROM THE BUILDING FACADE LINE FACING EAST MOREHEAD STREET. A CORNER TOWER ELEMENT (CORNER LOTS ONLY) LIMITED IN WIDTH AND DEPTH TO A MAXIMUM OF 25% OF THE BUILDING FRONTAGE MAY EXCEED THE HEIGHT AT WHICH A STEPBACK IS REQUIRED, BUT MAY NOT EXCEED THE ALLOWED MAXIMUM BUILDING HEIGHT.

(6) BUILDING ARTICULATION

- (a) MINIMUM GROUND FLOOR HEIGHT (FLOOR TO FLOOR).
- (i) 14 FOOT MINIMUM UNLESS THE GROUND FLOOR OF A BUILDING IS NON-CONVERTIBLE RESIDENTIAL, IN WHICH CASE THE MINIMUM GROUND FLOOR HEIGHT SHALL BE 10 FEET.
- (ii) AT LEAST 70% OF THE TOTAL GROUND FLOOR HEIGHT SHALL MEET THE MINIMUM GROUND FLOOR HEIGHT REQUIREMENT.
- (iii) THE GROUND FLOOR OF RESIDENTIAL DEVELOPMENTS IS STILL CONSIDERED RESIDENTIAL WHEN LEASING OR MANAGEMENT OFFICES AND/OR TENANT FACILITIES, SUCH AS GYMS AND COMMUNITY/PARTY ROOMS, ARE LOCATED ON THE GROUND FLOOR.
- (b) BLANK WALL AREA (HORIZONTAL OR VERTICAL).
- (i) 20 FOOT MAXIMUM FOR BUILDINGS ON MCDOWELL STREET, DISTRICT MAIN STREET AND OPEN SPACE.
- (ii) 10 FOOT MAXIMUM FOR BUILDINGS ON MOREHEAD STREET.
- (iii) 30 FOOT MAXIMUM FOR BUILDINGS ON TERTIARY STREETS.
- (c) GROUND FLOOR TRANSPARENCY AREA (MEASURED 3 FEET TO 10 FEET FROM FINISHED GRADE).
- (i) 60% MINIMUM FOR NON-RESIDENTIAL USES AND 25% MINIMUM FOR RESIDENTIAL USES.
- (d) UPPER FLOOR TRANSPARENCY (% OF WALL STORY AREA).
- (i) NON-RESIDENTIAL: 40% MINIMUM.
- (ii) RESIDENTIAL: 25% MINIMUM.

(7) NON-RESIDENTIAL, MIXED-USE AND MULTI-FAMILY STACKED DESIGN STANDARDS

- (a) TABLE 6(7) BELOW CONTAINS THE DESIGN STANDARDS FOR NON-RESIDENTIAL, MIXED USE AND MULTI-FAMILY STACKED BUILDINGS ON THE SITE. TABLE 6(7) ASSIGNS DESIGN STANDARDS TO BUILDING FACADES ALONG THE DIFFERENT TYPES OF STREET FRONTAGES ON THE SITE. AN "X" INDICATES THAT THE SPECIFIC DESIGN STANDARD APPLIES.

FRONTAGE TYPE	MCDOWELL	MOREHEAD	DISTRICT MAIN STREET	OPEN SPACE	TERTIARY
FOR BUILDINGS OF 150' IN LENGTH OR LONGER, FACADES SHALL BE DIVIDED INTO SHORTER SEGMENTS BY MEANS OF MODULATION. MODULATION MAY BE ACHIEVED THROUGH RECESSES, PROJECTIONS, OR ANGLE CHANGES OF NO LESS THAN 2' IN DEPTH AND 10' IN WIDTH.	X		X	X	
ALONG THE MOREHEAD STREET FRONTAGE, THE FACADE OF A BUILDING GREATER THAN 100 FEET IN LENGTH SHALL BE DIVIDED INTO SHORTER SEGMENTS (LESS THAN 100 FEET) BY MEANS OF MODULATION. MODULATION MAY BE ACHIEVED THROUGH RECESSES, PROJECTIONS OR ANGLE CHANGES OF NO LESS THAN 4' IN DEPTH AND 10' IN WIDTH.		X			
ARCADES, GALLERIES, COLONNADES, OUTDOOR PLAZAS, OUTDOOR DINING AREAS, OR SIMILAR PEDESTRIAN-ORIENTED GROUND FLOOR DESIGNS MAY BE INCORPORATED INTO FACADES. WHEN PROVIDED, SUCH FEATURES THAT ARE IN LINE WITH THE BUILDING FACADE ABOVE THE GROUND FLOOR ARE CONSIDERED TO MEET ANY REQUIRED BUILD-TO PERCENTAGE.	X	X	X	X	X
THE GROUND FLOOR (AT GRADE/STREET LEVEL) SHALL BE DISTINGUISHED FROM THE REMAINDER OF THE BUILDING WITH AN EMPHASIS ON PROVIDING DESIGN ELEMENTS THAT WILL ENHANCE THE PEDESTRIAN ENVIRONMENT. FEATURES SUCH AS LARGE OPENINGS, CHANGES IN MATERIAL OR COLOR, RECESSED, ARCHITECTURAL LIGHTING, AND OTHER SCULPTING OR ARTICULATION OF THE MASSING SHOULD BE PROVIDED TO ADD SPECIAL INTEREST TO THE BASE.	X	X	X	X	X
EACH BUILDING SHALL HAVE A MINIMUM OF ONE PROMINENT ENTRANCE (AS DEFINED BELOW).	X	X	X	X	

- PROMINENT ENTRANCE DEFINITION: A BUILDING ENTRANCE THAT IS VISUALLY DISTINCTIVE FROM THE REMAINING PORTIONS OF THE FACADE WHERE IT IS LOCATED.
- (i) FOR NONRESIDENTIAL, MIXED-USE AND MULTI-FAMILY STACKED BUILDINGS, ENTRANCES THAT CONTAIN AT LEAST THREE OF THE FOLLOWING ARE CONSIDERED A PROMINENT ENTRANCE: DECORATIVE PEDESTRIAN LIGHTING/SCONCES; ARCHITECTURAL DETAILS CARRIED THROUGH TO UPPER STORIES; COVERED PORCHES, CANOPIES, AWNINGS OR SUNSHADES; ARCHWAYS; TRANSON OR SIDELIGHT WINDOWS; TERRACED OR RAISED PLANTERS; COMMON OUTDOOR SEATING ENHANCED WITH SPECIALTY DETAILS, PAVING, LANDSCAPING, OR WATER FEATURES; DOUBLE DOORS; AND STOOPS OR STAIRS.
 - (ii) FOR MULTI-FAMILY ATTACHED UNITS, ENTRANCES THAT CONTAIN ONE OR MORE OF THE FOLLOWING FEATURES ARE CONSIDERED A PROMINENT ENTRANCE: PORCHES, RAISED STEPS AND STOOPS WITH OR WITHOUT ROOF OVERHANGS, DECORATIVE RAILINGS.

(8) PARKING GARAGE DESIGN STANDARDS.

- (a) GENERAL PARKING GARAGE DESIGN REGULATIONS.
- (i) ALL PARKING GARAGES SHALL BE SCREENED, WRAPPED, OR TREATED BASED ON STREET FRONTAGE TYPE AS INDICATED IN TABLE 6(8) BELOW.
- (ii) PARKING GARAGE FACADES MAY BE SCREENED USING DECORATIVE ELEMENTS SUCH AS GRILLWORK, LOUVERS, GREEN WALLS OR A SIMILAR TREATMENT.
- (iii) PARKING GARAGES LOCATED ALONG THE SITE'S FRONTAGE ON SOUTH MCDOWELL STREET OR ALONG THE SITE'S FRONTAGE ON INTERSTATE 277 MAY USE ARTISTIC OR BRANDED ARCHITECTURAL GARAGE SCREENING.
- (iv) WHERE PARKING GARAGES ARE INTEGRATED INTO OCCUPIABLE BUILDINGS, THE FACADES OF PARKING STRUCTURES SHOULD INCLUDE BOTH VERTICAL AND HORIZONTAL TREATMENT THAT RESEMBLES PATTERNS AND ARCHITECTURE OF THE OCCUPIED PORTIONS OF THE BUILDING, INCLUDING USE OF SIMILAR MATERIALS AND A SIMILAR RHYTHM OF WINDOW OPENINGS. THE REMAINING OPENING SHALL BE SCREENED USING DECORATIVE ELEMENTS SUCH AS GRILLWORK, LOUVERS, GREEN WALLS, OR A SIMILAR TREATMENT.
- (v) FOR PARKING STRUCTURES WITH ROOFTOP OPEN-AIR PARKING, A PARAPET WALL OF SUFFICIENT HEIGHT TO ENSURE VEHICLES ARE NOT VISIBLE FROM THE NEAREST SIDEWALK IS REQUIRED. ANY SUCH PARAPET WALL SHALL BE A MINIMUM OF FOUR FEET IN HEIGHT.
- (vi) ON PORTIONS OF A FACADE ABUTTING ANY FRONTAGE WHERE ACTIVE USES, INGRESS/EGRESS POINTS, AND/OR MECHANICAL EQUIPMENT ARE NOT PRESENT, PEDESTRIAN-SCALE INTEREST AND ACTIVITY SHOULD BE CREATED THROUGH THE INCLUSION OF ARCHITECTURAL ELEMENTS, SUCH AS AWNINGS, OVERHANGS, DECORATIVE SCREENS, GRILLS, LOUVERS, OR OTHER SIMILAR FEATURES.
- (vii) PARKING STRUCTURES SHOULD BE DESIGNED SO THAT VEHICLES PARKED ON ALL LEVELS OF THE STRUCTURE AND ASSOCIATED LIGHTING ARE SCREENED BY A WALL OR PANEL MEASURING A MINIMUM OF 42 INCHES IN HEIGHT.
- (b) GROUND FLOOR ACTIVATION FOR PARKING GARAGES.
- (i) GROUND FLOOR ACTIVATION OF PARKING STRUCTURES IS ENCOURAGED BUT NOT REQUIRED.
- (ii) WHEN PROVIDED, GROUND FLOOR ACTIVATION SHOULD SPAN A MINIMUM OF 60% OF THE GROUND FLOOR OF THE BUILDING EXCLUDING AREAS FOR REQUIRED VEHICULAR AND PEDESTRIAN EGRESS, AND MECHANICAL OR ELECTRICAL EQUIPMENT ROOMS.
- (iii) ACTIVE USE SPACE SHALL BE DESIGNED TO MEET THE REQUIREMENTS OF TABLE 6(8) BELOW. NON-RESIDENTIAL USES SHALL BE A MINIMUM OF 20 FEET IN WIDTH AND 20 FEET IN DEPTH, WITH UTILITY STUBS AND THE ABILITY TO ACCOMMODATE EQUIPMENT FOR RESTAURANT USES. WHEN THE ACTIVE USE SPACES ARE RESIDENTIAL UNITS, THEY ARE NOT REQUIRED TO ACCOMMODATE EQUIPMENT FOR RESTAURANT USES.
- (c) ALLOWED PARKING GARAGE SCREENING METHODS BASED ON STREET FRONTAGE TYPE.
- (i) PARKING GARAGES SHALL BE DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF TABLE 6(8) BELOW WHEN LOCATED ON THE APPLICABLE STREET FRONTAGE TYPE. WHERE MULTIPLE SCREENING METHODS ARE INDICATED WITH A "P," ANY OF THE STATED SCREENING METHODS SHALL BE PERMITTED. AN "NP" INDICATES THAT A SCREENING METHOD IS NOT PERMITTED.

TABLE 6(8)

FRONTAGE TYPE	MCDOWELL	MOREHEAD	DISTRICT MAIN STREET	OPEN SPACE	TERTIARY
ALL FLOORS WRAPPED WITH OCCUPIABLE BUILDING AND ACTIVE GROUND FLOOR	P	P	P	P	P
ACTIVE GROUND FLOOR ONLY WITH ARCHITECTURALLY SCREENED GARAGE ABOVE	P	NP	NP	NP	P
ARCHITECTURALLY SCREENED GARAGE WITH NO ACTIVE GROUND FLOOR	P	NP	NP	NP	P

7. STREETScape/LANDSCAPING

- A. PLANTING STRIPS AND SIDEWALKS SHALL BE INSTALLED IN ACCORDANCE WITH THE STREET CROSS SECTIONS SET OUT ON SHEETS RZ-1.1 AND RZ-1.2 OF THE REZONING PLAN.
- B. DUMPSTER AND RECYCLING AREAS WILL BE ENCLOSED ON ALL FOUR SIDES BY AN OPAQUE WALL OR FENCE WITH ONE SIDE BEING A HINGED OPAQUE GATE. IF ONE OR MORE SIDES OF A DUMPSTER AND RECYCLING AREA ADJOIN A SIDE WALL OR REAR WALL OF A BUILDING, THEN THE SIDE WALL OR REAR WALL OF THE BUILDING MAY BE SUBSTITUTED FOR THE WALL OR FENCE ALONG EACH SUCH SIDE.

8. ENVIRONMENTAL FEATURES

- A. PETITIONER SHALL COMPLY WITH THE CHARLOTTE CITY COUNCIL APPROVED AND ADOPTED POST-CONSTRUCTION STORMWATER ORDINANCE, SUBJECT, HOWEVER, TO ANY SUPERSEDING OR LIMITING STATE STATUTE OR LEGISLATION.
- B. DEVELOPMENT OF THE SITE SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE CITY OF CHARLOTTE TREE ORDINANCE.
- C. SUBJECT TO THE APPROVAL OF THE CITY OF CHARLOTTE URBAN FORESTRY DEPARTMENT, CDOT AND NCDOT, ANY NEW STREET TREES PLANTED ALONG THE SITE'S FRONTAGE ON EAST MOREHEAD STREET SHALL BE SPACED IN A MANNER THAT IS CONSISTENT WITH THE SPACING OF THE EXISTING TREES LOCATED ON THE WEST SIDE OF EAST MOREHEAD STREET DIRECTLY ACROSS EAST MOREHEAD STREET FROM THE SITE.
- D. AS NOTED ABOVE IN PARAGRAPH 11, THE DEVELOPMENT OF THE SITE SHALL BE CONSIDERED TO BE A PLANNED/UNIFIED DEVELOPMENT. ACCORDINGLY, THE TREE SAVE REQUIREMENTS OF THE CITY OF CHARLOTTE TREE ORDINANCE SHALL BE CALCULATED AND SATISFIED OVER THE ENTIRE SITE, RATHER THAN WITHIN EACH INDIVIDUAL DEVELOPMENT AREA. AS A RESULT, EACH DEVELOPMENT AREA SHALL NOT BE REQUIRED TO MEET THE TREE SAVE REQUIREMENTS OF THE CITY OF CHARLOTTE TREE ORDINANCE PROVIDED THAT THE SITE AS A WHOLE MEETS SUCH TREE SAVE REQUIREMENTS.

9. OPEN SPACE

- A. AS NOTED ABOVE IN PARAGRAPH 11, THE SITE SHALL BE CONSIDERED TO BE A PLANNED/UNIFIED DEVELOPMENT. ACCORDINGLY, THE OPEN SPACE REQUIREMENTS SHALL BE CALCULATED AND SATISFIED OVER THE ENTIRE SITE, RATHER THAN WITHIN EACH INDIVIDUAL DEVELOPMENT AREA OR WITHIN EACH INDIVIDUAL BUILDING SITE OR LOT. AS A RESULT, EACH DEVELOPMENT AREA OR EACH INDIVIDUAL BUILDING SITE OR LOT SHALL NOT BE REQUIRED TO MEET THE OPEN SPACE REQUIREMENTS PROVIDED THAT THE SITE AS A WHOLE MEETS SUCH OPEN SPACE REQUIREMENTS.
- B. REQUIRED OPEN SPACE MAY BE PROVIDED IN ONE OR MORE OPEN SPACE AREAS WITHIN THE SITE.
- C. A MINIMUM OF 10% OF THE SITE SHALL BE DEVOTED TO OPEN SPACE. A MINIMUM OF 25% OF THE REQUIRED OPEN SPACE SHALL BE PUBLIC OPEN SPACE.
- D. PUBLIC OPEN SPACE IS DEFINED AS OPEN SPACE MAINTAINED FOR THE USE OF THE GENERAL PUBLIC. PUBLIC OPEN SPACE MAY INCLUDE PARKS, PLAZAS AND PUBLIC SEATING AREAS.
- E. 50% OF THE REQUIRED OPEN SPACE AREA MAY BE PROVIDED AS A WIDENED SIDEWALK WHEN SUCH SIDEWALK IS GREATER THAN 8 FEET IN WIDTH (IN ADDITION TO REQUIRED STREETScape), OUTDOOR DINING MAY BE INCLUDED IN THIS AREA.
- F. AT A MINIMUM, THE PUBLIC OPEN SPACE AREAS ON THE SITE SHALL CONTAIN HARDScape, LANDSCAPING, WALKING PATHS AND BENCHES.

10. BINDING EFFECT OF THE REZONING DOCUMENTS AND DEFINITIONS

- A. IF THIS REZONING PETITION IS APPROVED, ALL CONDITIONS APPLICABLE TO THE USE AND DEVELOPMENT OF THE SITE IMPOSED UNDER THESE DEVELOPMENT STANDARDS AND THE REZONING PLAN WILL, UNLESS AMENDED IN THE MANNER PROVIDED UNDER THE ORDINANCE, BE BINDING UPON AND INURE TO THE BENEFIT OF PETITIONER AND THE CURRENT AND SUBSEQUENT OWNERS OF THE SITE AND THEIR RESPECTIVE SUCCESSORS IN INTEREST AND ASSIGNS.
- B. THROUGHOUT THESE DEVELOPMENT STANDARDS, THE TERM "PETITIONER" SHALL BE DEEMED TO INCLUDE THE HEIRS, DEVISEES, PERSONAL REPRESENTATIVES, SUCCESSORS IN INTEREST AND ASSIGNS OF PETITIONER OR THE OWNER OR OWNERS OF THE SITE FROM TIME TO TIME WHO MAY BE INVOLVED IN ANY FUTURE DEVELOPMENT THEREOF.
- C. ANY REFERENCE TO THE ORDINANCE HEREIN SHALL BE DEEMED TO REFER TO THE REQUIREMENTS OF THE ORDINANCE IN EFFECT AS OF THE DATE THIS REZONING PETITION IS APPROVED.

NO.	REVISIONS	DATE
	REVISED DEVELOPMENT STANDARDS	12/08/21

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KH PROJECT	015031128
DATE	08/16/2021
SCALE	AS SHOWN
DESIGNED BY	
DRAWN BY	
CHECKED BY	

DEVELOPMENT STANDARDS
 REZONING PETITION No.2021-092

CHARLOTTE INNOVATION COMMUNITY
 PREPARED FOR
TRIUM HEALTH
 CITY OF CHARLOTTE, NORTH CAROLINA

SHEET NUMBER
RZ-2.1