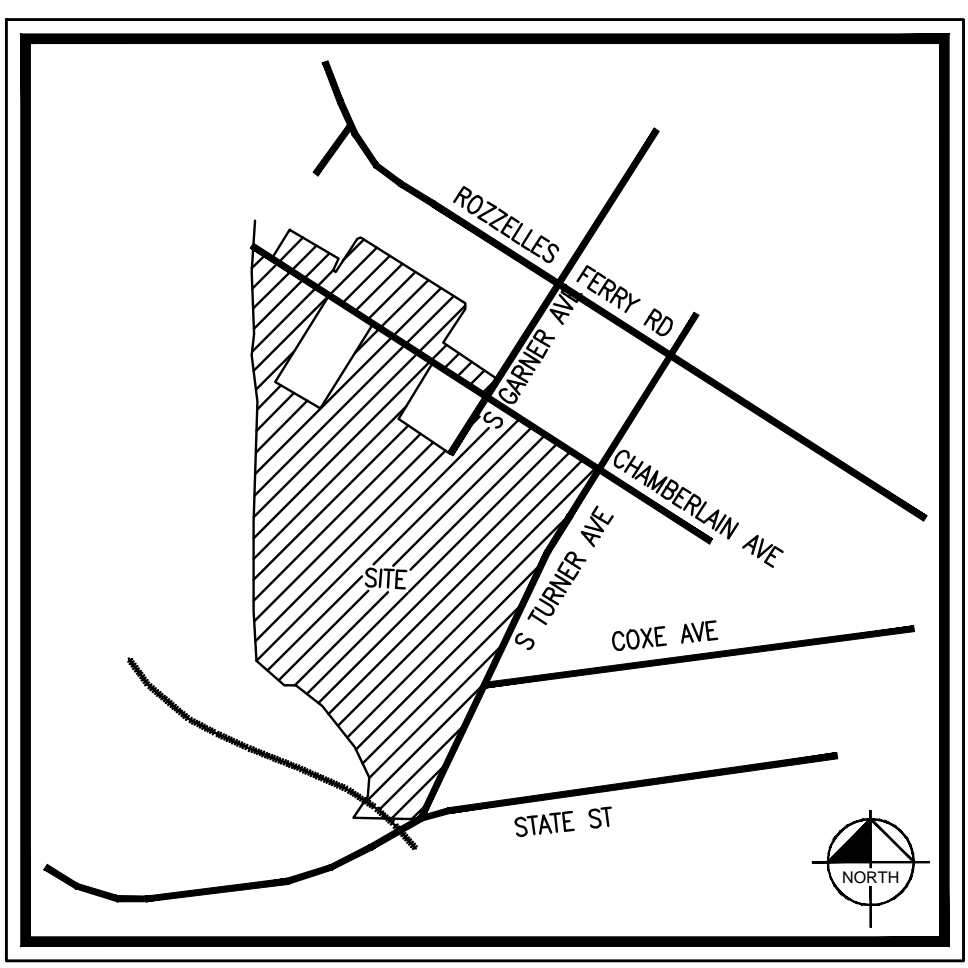
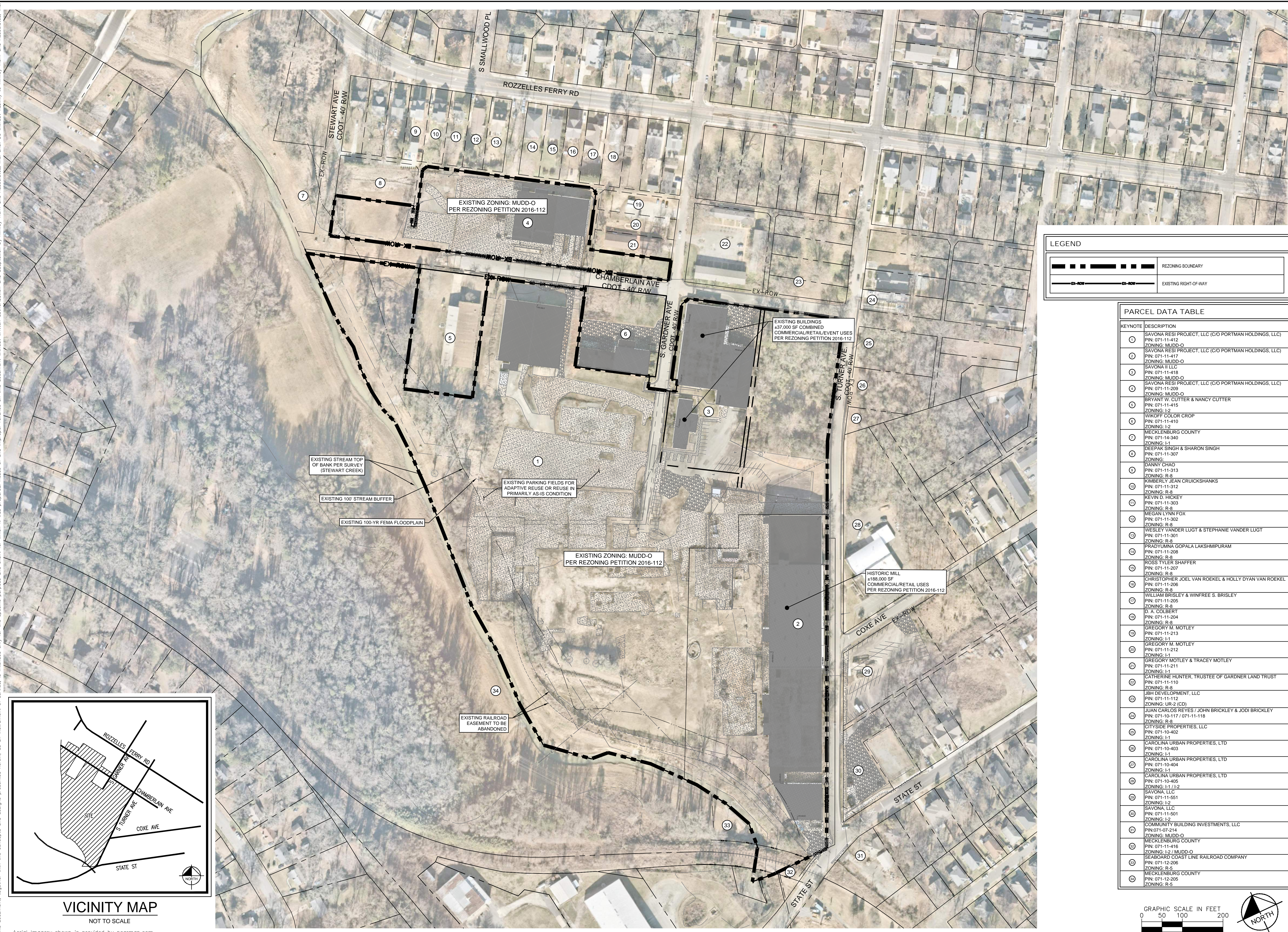


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VICINITY MAP  
NOT TO SCALE

**LEGEND**

	REZONING BOUNDARY
	EXISTING RIGHT-OF-WAY

**PARCEL DATA TABLE**

KEYNOTE	DESCRIPTION
1	SAVONA RESI PROJECT, LLC (C/O PORTMAN HOLDINGS, LLC) PIN: 071-11-412 ZONING: MUDD-O
2	SAVONA RESI PROJECT, LLC (C/O PORTMAN HOLDINGS, LLC) PIN: 071-11-417 ZONING: MUDD-O
3	SAVONA II LLC PIN: 071-11-418 ZONING: MUDD-O
4	SAVONA RESI PROJECT, LLC (C/O PORTMAN HOLDINGS, LLC) PIN: 071-11-209 ZONING: MUDD-O
5	BRYANT W. CUTLER & NANCY CUTLER PIN: 071-11-415 ZONING: L-2
6	WIKOFF COLOR CROP PIN: 071-11-410 ZONING: L-2
7	MECKLENBURG COUNTY PIN: 071-14-340 ZONING: L-1
8	DEEPAK SINGH & SHARON SINGH PIN: 071-11-307 ZONING:
9	DANNY CHAO PIN: 071-11-313 ZONING: R-8
10	KIMBERLY JEAN CRUICKSHANKS PIN: 071-11-312 ZONING: R-8
11	KEVIN D. HICKEY PIN: 071-11-303 ZONING: R-8
12	MEGAN LYNN FOX PIN: 071-11-302 ZONING: R-8
13	WESLEY VANDER LUGT & STEPHANIE VANDER LUGT PIN: 071-11-301 ZONING: R-8
14	PRADYUMNA GOPALA LAKSHMIPURAM PIN: 071-11-209 ZONING: R-8
15	ROSS TYLER SHAFFER PIN: 071-11-207 ZONING: R-8
16	CHRISTOPHER JOEL VAN ROEKEL & HOLLY DYAN VAN ROEKEL PIN: 071-11-206 ZONING: R-8
17	WILLIAM BRISLEY & WINFREE S. BRISLEY PIN: 071-11-205 ZONING: R-8
18	D. A. COLBERT PIN: 071-11-204 ZONING: R-8
19	GREGORY M. MOTLEY PIN: 071-11-213 ZONING: L-1
20	GREGORY M. MOTLEY PIN: 071-11-212 ZONING: L-1
21	GREGORY MOTLEY & TRACEY MOTLEY PIN: 071-11-211 ZONING: L-1
22	CATHERINE HUNTER, TRUSTEE OF GARDNER LAND TRUST PIN: 071-11-110 ZONING: R-8
23	JBH DEVELOPMENT, LLC PIN: 071-11-112 ZONING: UR-2 (CD)
24	JUAN CARLOS REYES / JOHN BRICKLEY & JODI BRICKLEY PIN: 071-10-117 / 071-11-118 ZONING: R-8
25	CITYSIDE PROPERTIES, LLC PIN: 071-10-402 ZONING: L-1
26	CAROLINA URBAN PROPERTIES, LTD PIN: 071-10-403 ZONING: L-1
27	CAROLINA URBAN PROPERTIES, LTD PIN: 071-10-404 ZONING: L-1
28	CAROLINA URBAN PROPERTIES, LTD PIN: 071-10-405 ZONING: L-1 / L-2
29	SAVONA, LLC PIN: 071-11-551 ZONING: L-2
30	SAVONA, LLC PIN: 071-11-501 ZONING: L-2
31	COMMUNITY BUILDING INVESTMENTS, LLC PIN: 071-07-214 ZONING: MUDD-O
32	MECKLENBURG COUNTY PIN: 071-11-416 ZONING: L-2 / MUDD-O
33	SEABOARD COAST LINE RAILROAD COMPANY PIN: 071-12-206 ZONING: R-5
34	MECKLENBURG COUNTY PIN: 071-12-205 ZONING: R-5



**Kimley & Horn**  
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 PHONE: 704-333-5131  
 WWW.KIMLEY-HORN.COM

**SAVONA MILL REZONING PREPARED FOR PORTMAN RESIDENTIAL**  
 NORTH CAROLINA

**EXISTING CONDITIONS**  
 REZONING PETITION NO. 2021-021

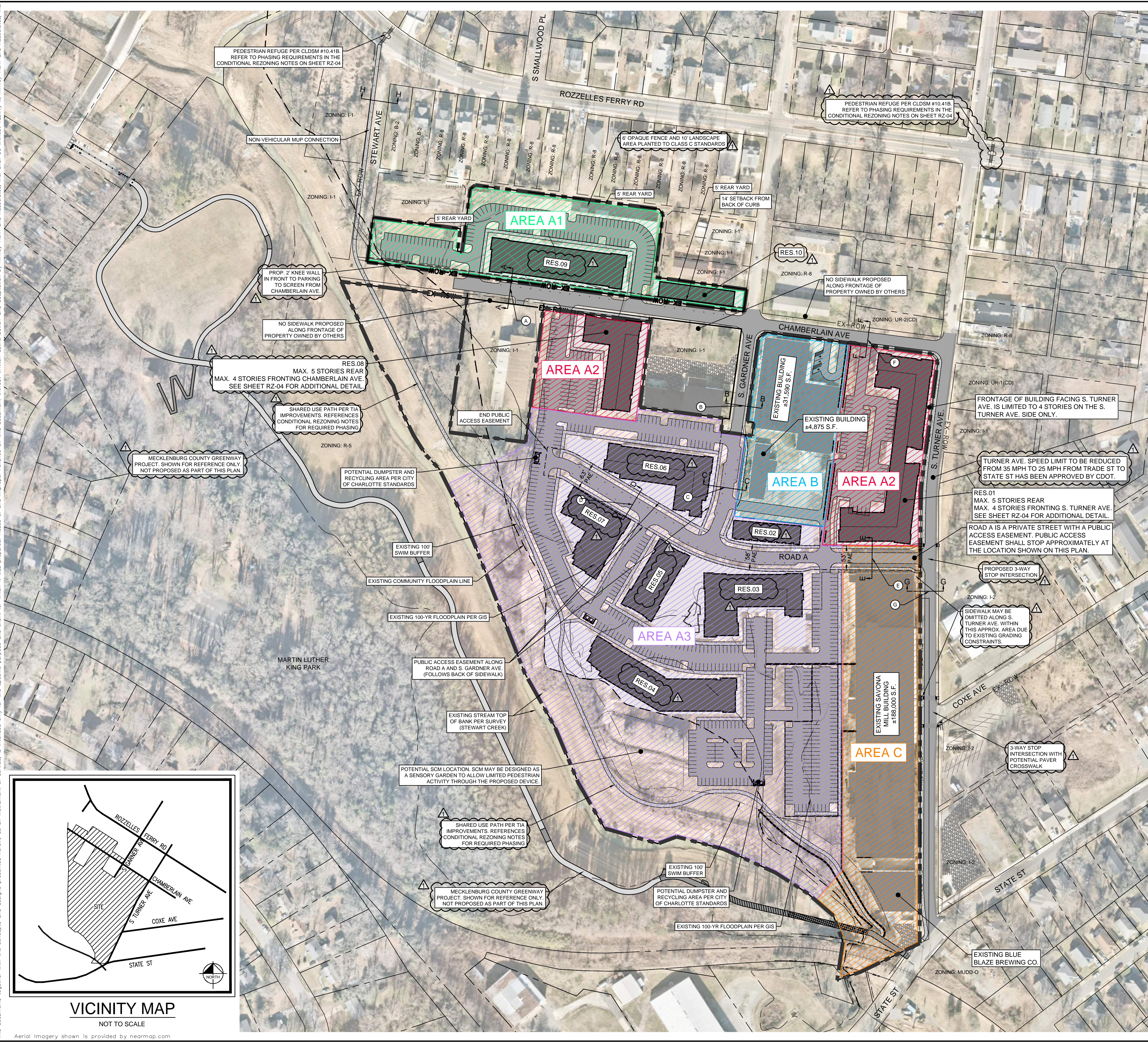
**NOT FOR CONSTRUCTION**

NO.	REVISED PER CITY COMMENTS	DATE	BY
1		04/13/21	TRH

KHA PROJECT: 019292023  
 DATE: 01/06/2021  
 SCALE: AS SHOWN  
 DESIGNED BY: TRH  
 DRAWN BY: TRH  
 CHECKED BY: RBD

SHEET NUMBER: RZ-01

Plotted By: Harrison, Trevor Sheet: Savona Mill Rezoning - 019292021 - 019292021 - 05:02:21pm K:\CHL\_P\1\019292021 - Savona Mill Rezoning - 019292021 - 05:02:21pm This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



### LEGEND

	REZONING BOUNDARY
	EXISTING RIGHT-OF-WAY
	POTENTIAL BUILDING FOOTPRINT AREA (OUTSIDE OF SETBACKS)
	POTENTIAL PARKING & ROADWAY IMPROVEMENTS
	POTENTIAL BUILDING ENVELOPE
	POTENTIAL SIDEWALK LOCATION

### SITE DEVELOPMENT NOTES

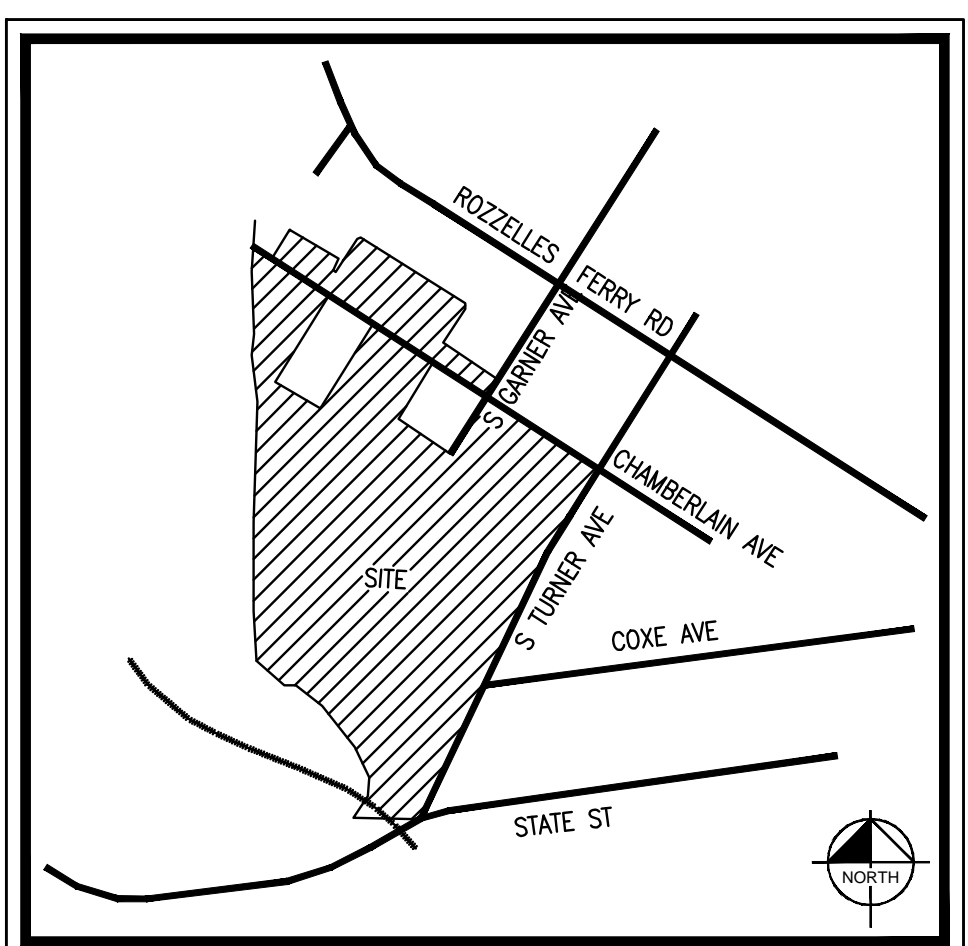
- SEE REZONING SHEET RZ-04 FOR FULL LIST OF SITE DEVELOPMENT PROVISIONS.
- ACREAGE: 27.65 ACRES
- TAX PARCELS: 071-11-209, 071-11-403, 071-11-412, 071-11-417
- EXISTING ZONING: MUDD-O (REZONING PETITION 2016-112)
- PROPOSED ZONING: MUDD-O WITH FIVE (5) YEAR VESTED RIGHTS.
- EXISTING USES: INDUSTRIAL
- MAXIMUM DEVELOPMENT (SUBJECT TO CONVERSION RIGHTS AS DEFINED HEREIN):
- SEE REZONING SHEET RZ-04 FOR FULL LIST OF SITE DEVELOPMENT PROVISIONS.
- PROPOSED USES: USES PERMITTED BY RIGHT AND UNDER PRESCRIBED CONDITIONS TOGETHER WITH ACCESSORY USES, AS ALLOWED IN THE MUDD ZONING DISTRICT.
- MAXIMUM BUILDING HEIGHT: UP TO EIGHT (8) STORIES FOR BUILDINGS INTERNAL TO THE SITE, AND FURTHER LIMITED TO A MAXIMUM OF FOUR (4) STORIES ALONG THE FRONTAGE OF SOUTH TURNER AVENUE AS INDICATED ON THE SITE PLAN (EXCLUSIVE OF BASEMENTS).
- PARKING:
  - 0.6 SPACES / DWELLING UNIT
  - 1 SPACE / 600 SF OF NON-RESIDENTIAL USE
- SOLID WASTE SHALL BE PROVIDED VIA VALET TRASH SERVICE. TOTAL CUBIC YARDAGE AND SQUARE FOOTAGE REQUIREMENTS SHALL BE PROVIDED IN TRASH ENCLOSURES.
- COMPACTORS SHALL BE PROVIDED AT 8 CY / 80 UNITS.
- RECYCLING AREAS SHALL BE PROVIDED (TOTAL SF = 676)
- BUILDINGS SHOWN ARE SCHEMATIC IN NATURE AND MAY CHANGE DURING SITE PLAN PREPARATION.
- FIRE DEPARTMENT NOTES:
  - A FIRE DEPARTMENT ACCESS ROAD SHALL HAVE A MIN. 20' UNOBSTRUCTED CLEAR WIDTH AND SHALL BE CAPABLE OF SUPPORTING 80,000 POUNDS.
  - ANY FIRE DEPARTMENT ACCESS ROAD THAT EXCEEDS 150' SHALL PROVIDE AN APPROVED TURNAROUND.
  - THE REQUIRED FIRE TRUCK TURN RADIUS IS 30' INSIDE AND 42' OUTSIDE.
  - FOR NON-SPRINKLED BUILDINGS, FIRE DEPARTMENT MUST BE ABLE TO REACH 150' TO ALL EXTERIOR PORTION OF BUILDING.
  - FOR BUILDINGS THAT ARE EQUIPPED WITH A SPRINKLER SYSTEM, A FIRE DEPARTMENT CONNECTION SHALL BE LOCATED WITHIN 200' OF A FIRE HYDRANT FOR A NFPA 13 SPRINKLER SYSTEM AND 750' FOR A NFPA 13R SPRINKLER SYSTEM.
  - A FIRE HYDRANT SHALL BE LOCATED WITHIN 750' TO THE MOST REMOTE POINT OF THE BUILDING AS THE TRUCK TRAVELS FOR ALL BUILDINGS.

### STREETSCAPE TABLE

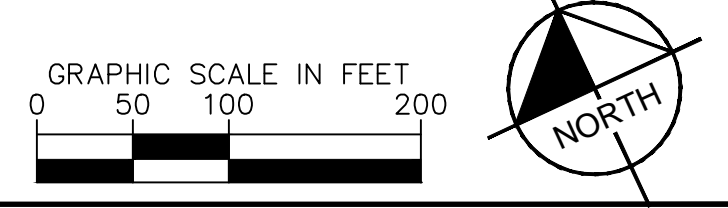
KEYNOTE	STREET NAME	DESCRIPTION
Ⓒ	CHAMBERLAIN AVE.	R/W WIDTH: 50' (EXISTING) PAVEMENT WIDTH: 25' (10' LANES + 5' PARALLEL PARKING ON NORTH SIDE) CURB: 2.5' PLANTER WIDTH: 6' SIDEWALK WIDTH: 6' BUILDING SETBACK: 14' (FROM BACK OF CURB)
Ⓓ	S. GARDNER AVE.	R/W WIDTH: 40' (EXISTING) PAVEMENT WIDTH: 20' CURB: 2.5' PLANTER WIDTH: NA SIDEWALK WIDTH: 6' (WHERE FEASIBLE, MINIMUM EAST SIDE ONLY) BUILDING SETBACK: 14' (EXISTING BUILDINGS TO REMAIN)
Ⓒ	S. GARDNER AVE.	R/W WIDTH: 50' (EXISTING) PAVEMENT WIDTH: 30' (10' LANES + 5' PARALLEL PARKING ON BOTH SIDES) CURB: 2.5' PLANTER WIDTH: 8' SIDEWALK WIDTH: 6' BUILDING SETBACK: 14' (FROM BACK OF CURB)
Ⓒ	ROAD A	R/W WIDTH: NONE (PRIVATE ROAD, 53'-67' PUBLIC ACCESS EASEMENT) PAVEMENT WIDTH: 30' (10' LANES + 5' PARALLEL PARKING ON BOTH SIDES) CURB: 2.5' PLANTER WIDTH: 8' SIDEWALK WIDTH: 6' BUILDING SETBACK: 14' (FROM BACK OF CURB)
Ⓓ	ROAD A	R/W WIDTH: NONE (PRIVATE ROAD, 57' PUBLIC ACCESS EASEMENT) PAVEMENT WIDTH: 20' CURB: 2.5' PLANTER WIDTH: 8' SIDEWALK WIDTH: 6' BUILDING SETBACK: 14' (FROM BACK OF CURB)
Ⓒ	CHAMBERLAIN AVE.	R/W WIDTH: 40' (EXISTING) PAVEMENT WIDTH: 20' CURB: 2.5'
Ⓒ	S. TURNER AVE.	R/W WIDTH: 40' (EXISTING) PAVEMENT WIDTH: 20' CURB: 2.5'

### ZONING SUMMARY TABLE

PARCEL ID	071-11-209, 071-11-403, 071-11-412, 071-11-417
PARCEL ACREAGE	27.65 ACRES
FEMA PANEL	MAP 3710454400K, PANEL 4544
CURRENT ZONING	MUDD-O (REZONING PETITION 2016-112)
PROPOSED ZONING	MUDD-O (SPA)
PROPOSED USE	MULTIFAMILY COMMERCIAL, RETAIL, OFFICE, EVENT
MINIMUM BUILDING SEPARATION	10 FEET
MAX. BUILDING HEIGHT ALLOWED	120', UP TO 8 STORIES (SEE REZONING PETITION 2016-112)
MAX. BUILDING HEIGHT PROPOSED	120', UP TO 8 STORIES (SEE SITE PLAN FOR LIMITATIONS)
UNITS PROPOSED	650 RES. UNITS & 290,000 SF OF COMMERCIAL
SETBACK ALONG LOCAL AND COLLECTOR STREETS	14' MIN. FROM BACK OF CURB
SETBACK ALONG PRIVATE DRIVES	10' MIN. FROM BACK OF CURB ALONG BUILDING FACES WITH ENTRANCES
SIDE YARD	0 FEET
REAR YARD	0 FEET (5 FEET ON NORTH SIDE OF CHAMBERLAIN AVE)
PROPOSED PARKING REQUIRED (PER OPTIONAL REQUEST)	0.6 SPACES / UNIT (RESIDENTIAL) 1 SPACE / 600 SF (ALL OTHER USES)
*VALET TRASH SERVICE, COMPACTORS, AND RECYCLING ENCLOSURES SHALL BE PROVIDED IN LIEU OF CITY REQUIRED STATIONS (PER OPTIONAL REVISION REQUEST).	



VICINITY MAP  
NOT TO SCALE



SAVONA MILL  
REZONING  
PREPARED FOR  
PORTMAN RESIDENTIAL  
CITY OF CHARLOTTE

REZONING SITE PLAN  
REZONING PETITION NO. 2021-021

NOT FOR  
CONSTRUCTION

Kimley & Horn  
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WWW.KIMLEY-HORN.COM

KHA PROJECT  
019292023

DATE  
01/06/2021

SCALE AS SHOWN

DESIGNED BY TRH

DRAWN BY TRH

CHECKED BY RBD

REVISED PER CITY COMMENTS

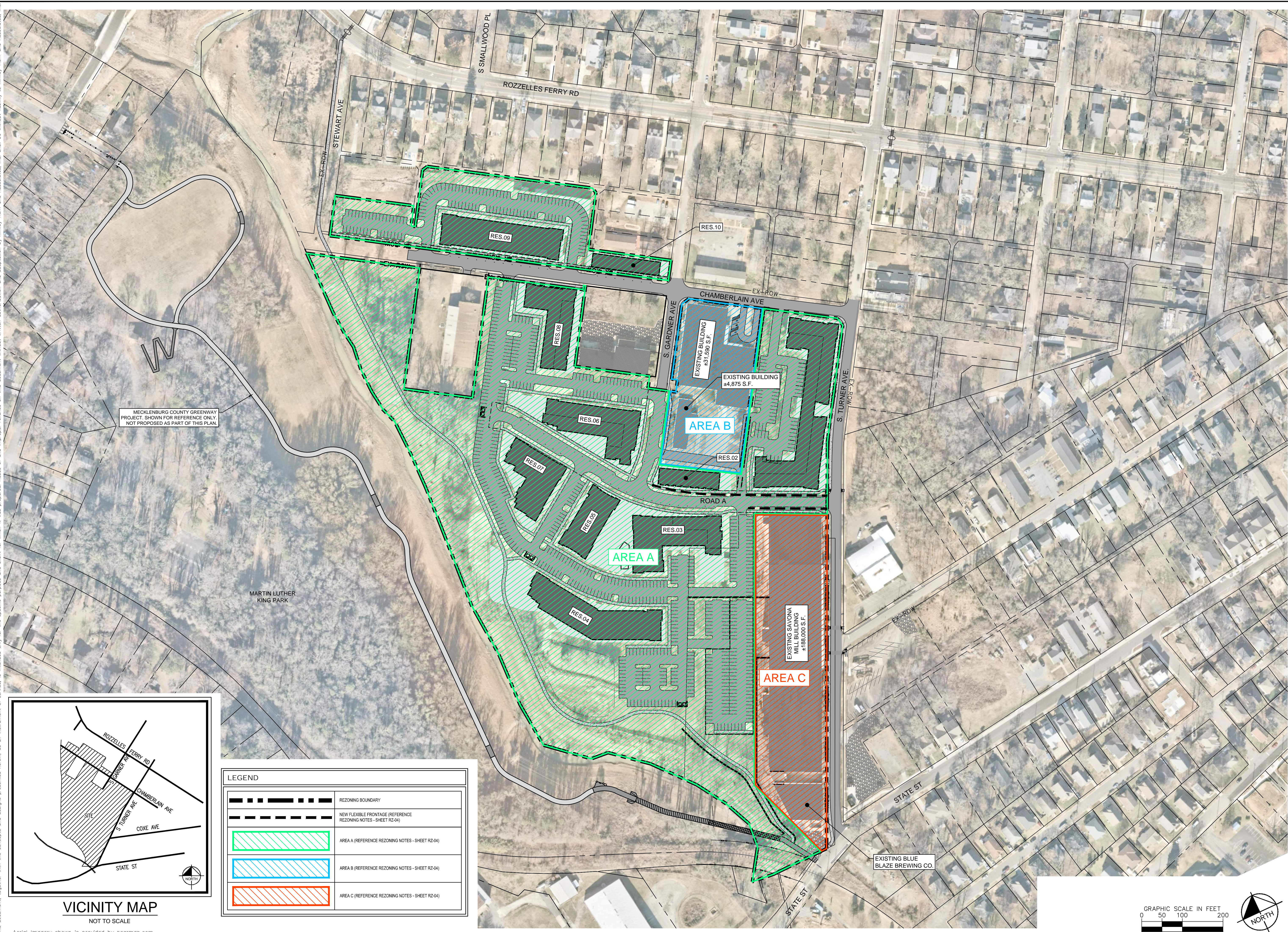
REVISIONS

DATE

04/13/21 TRH

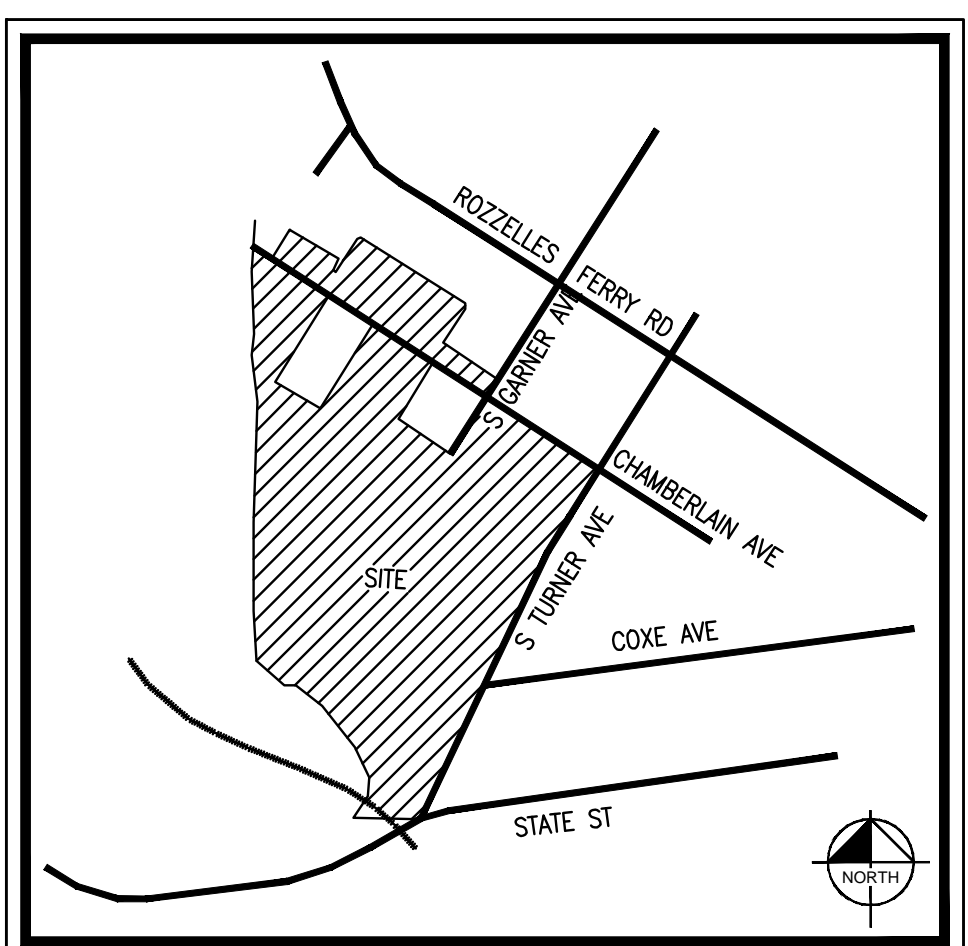
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Plotted By: Harrison, Trevor Sheet: Savona Mill Rezoning - 019292021 L:\D:\RZ-03 REZONING AREAS PLAN - April 13, 2021 05:02:36pm K:\CHL\_P\RA\019292021 - Savona Mill\02 - DWG\Rezoning\PlanSheets\RZ-03 REZONING AREAS PLAN.dwg  
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MECKLENBURG COUNTY GREENWAY PROJECT. SHOWN FOR REFERENCE ONLY. NOT PROPOSED AS PART OF THIS PLAN.

MARTIN LUTHER KING PARK



VICINITY MAP  
NOT TO SCALE

LEGEND	
	REZONING BOUNDARY
	NEW FLEXIBLE FRONTAGE (REFERENCE REZONING NOTES - SHEET RZ-04)
	AREA A (REFERENCE REZONING NOTES - SHEET RZ-04)
	AREA B (REFERENCE REZONING NOTES - SHEET RZ-04)
	AREA C (REFERENCE REZONING NOTES - SHEET RZ-04)

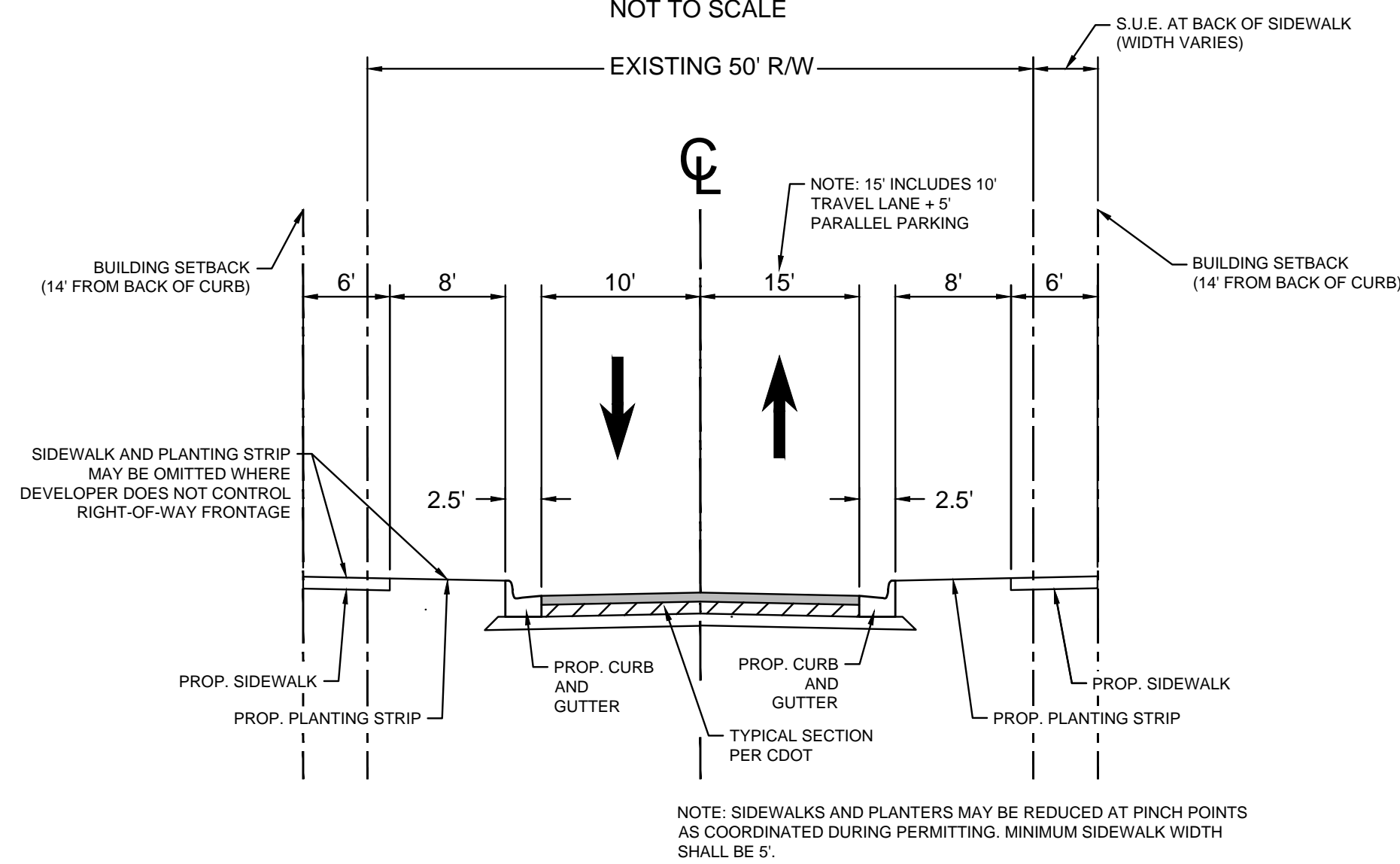


<b>SAVONA MILL REZONING</b> PREPARED FOR <b>PORTMAN RESIDENTIAL</b> <small>CITY OF CHARLOTTE NORTH CAROLINA</small>	<b>REZONING AREAS PLAN</b> REZONING PETITION NO. 2021-021		<b>NOT FOR CONSTRUCTION</b>			
	KHA PROJECT 019292023	DATE 01/06/2021			SCALE AS SHOWN TRH	DESIGNED BY TRH
SHEET NUMBER <b>RZ-03</b>	REVISED PER CITY COMMENTS 04/13/21 TRH	REVISIONS No.	DATE BY			

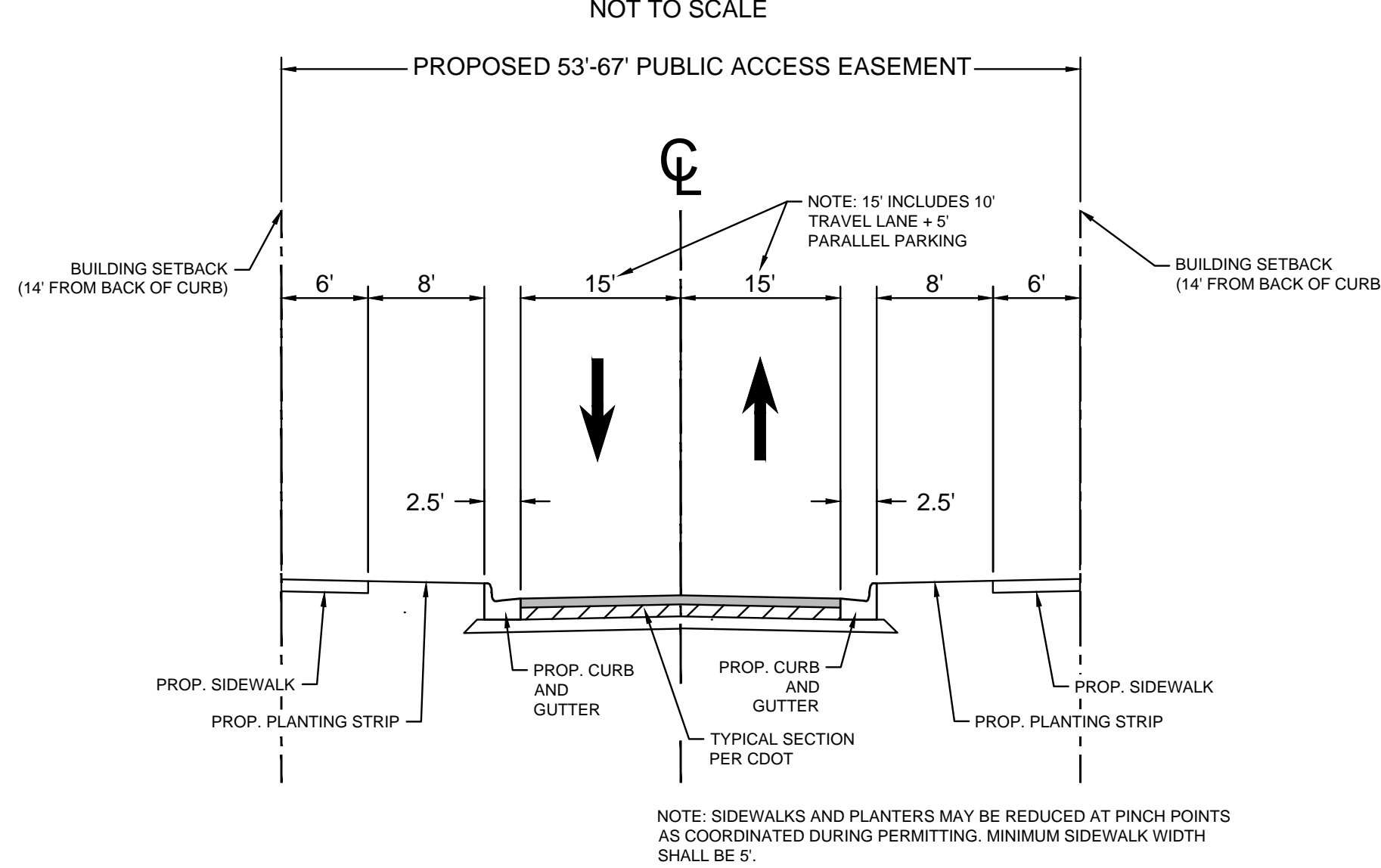


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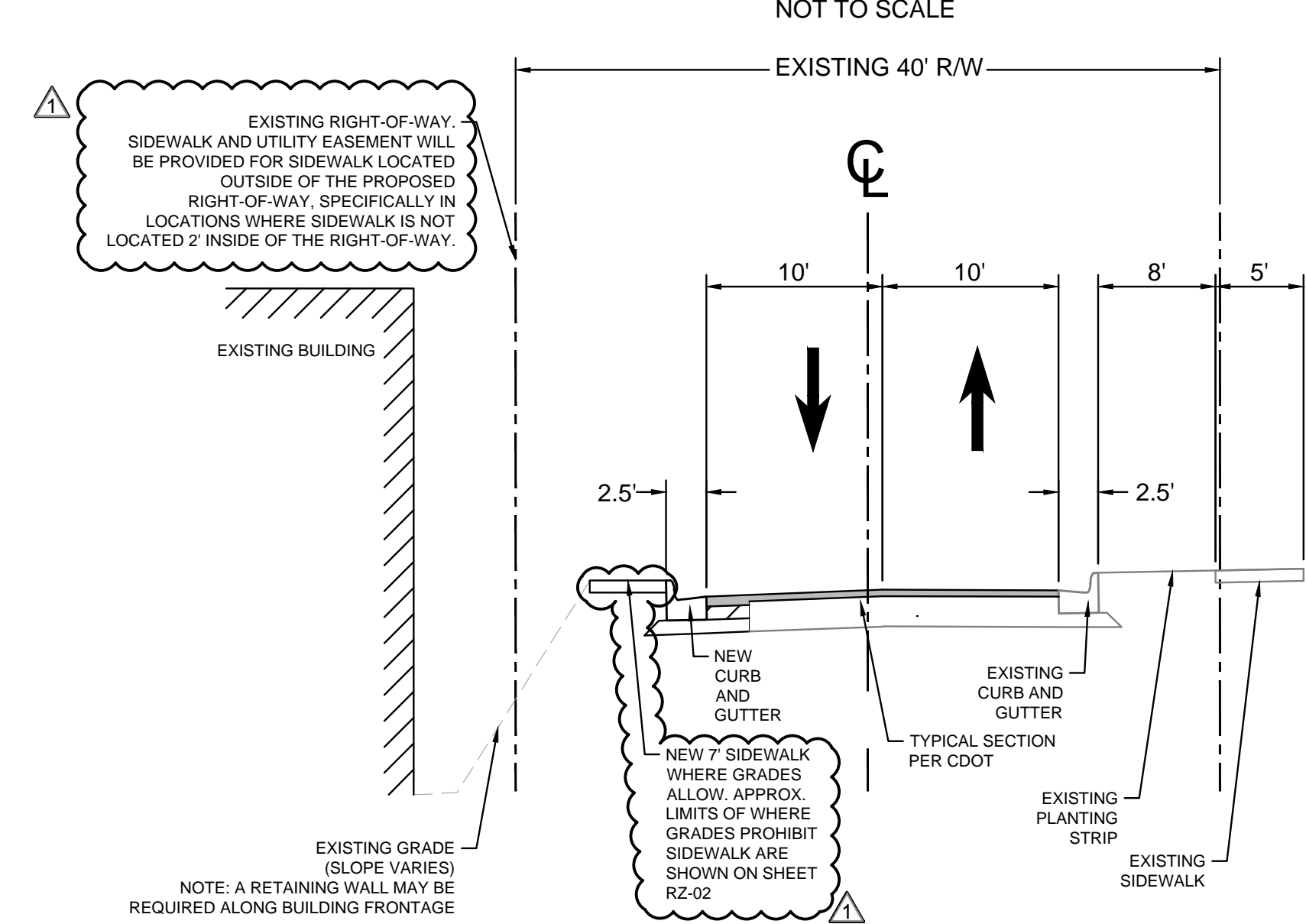
**TYPICAL SECTION A-A**  
 CHAMBERLAIN AVE. - WEST OF S. GARDNER AVE.  
 NOT TO SCALE



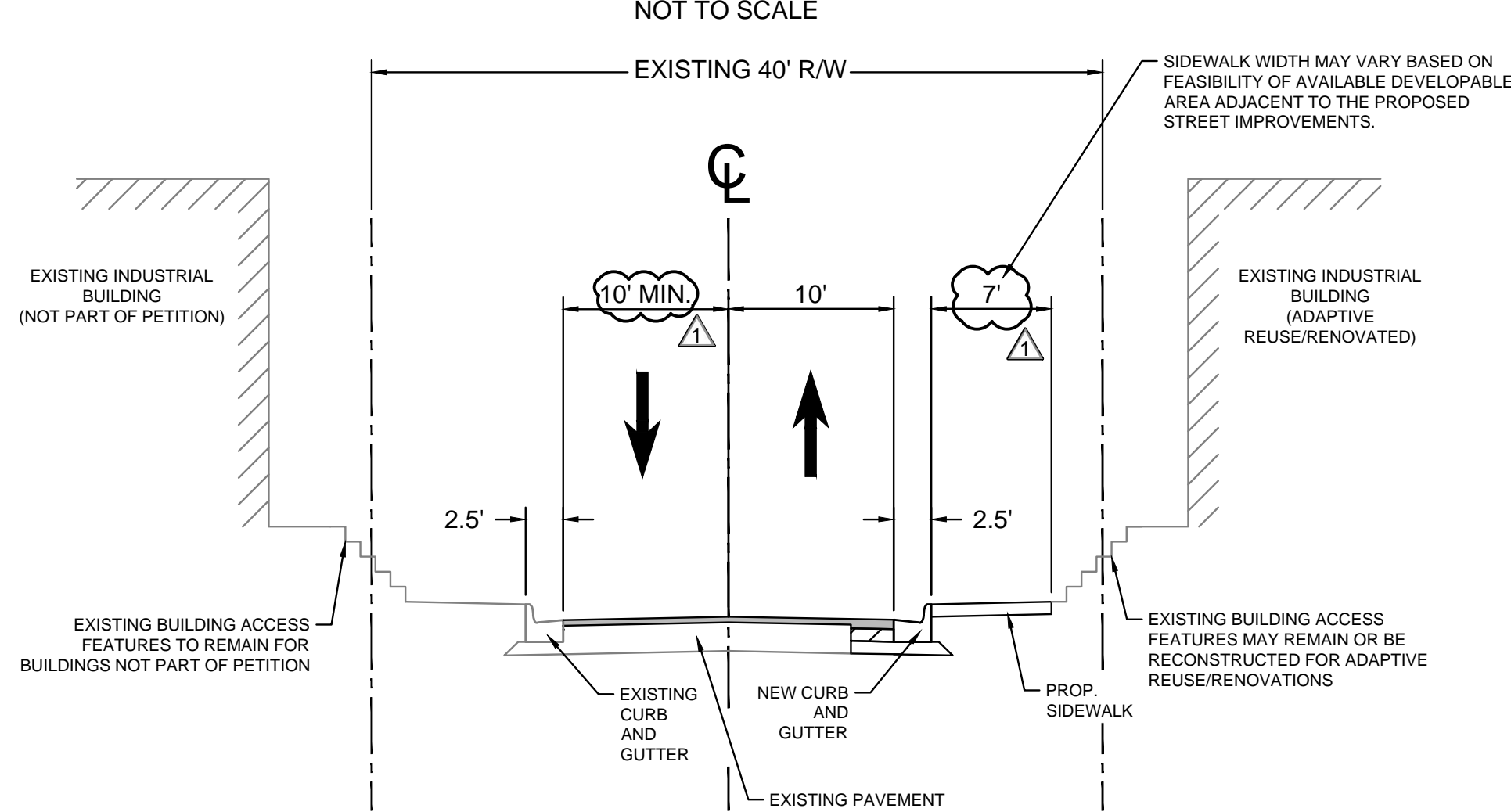
**TYPICAL SECTION D-D**  
 ROAD A - NOT ADJACENT TO EXISTING BUILDING  
 NOT TO SCALE



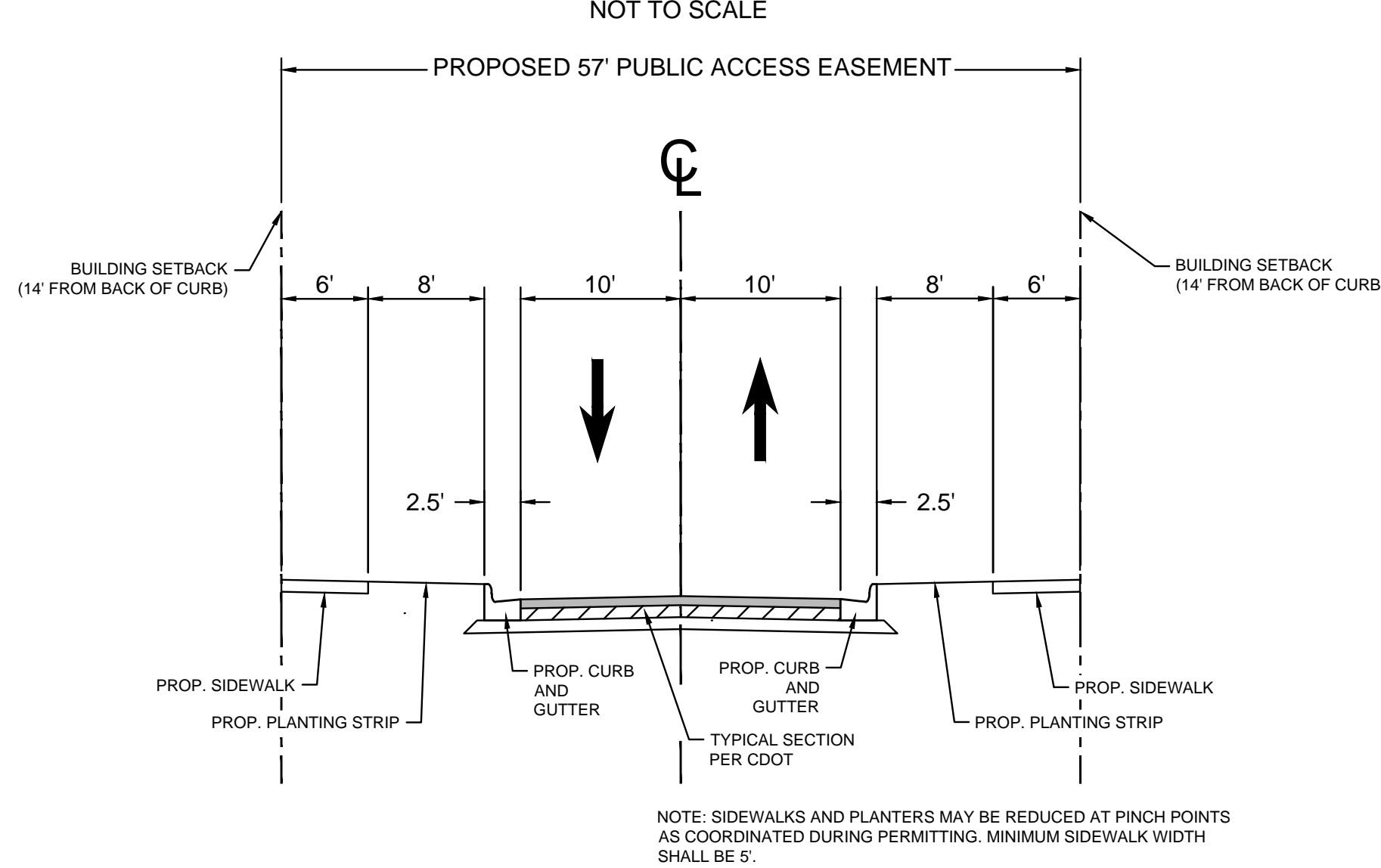
**TYPICAL SECTION G-G**  
 S. TURNER AVE  
 NOT TO SCALE



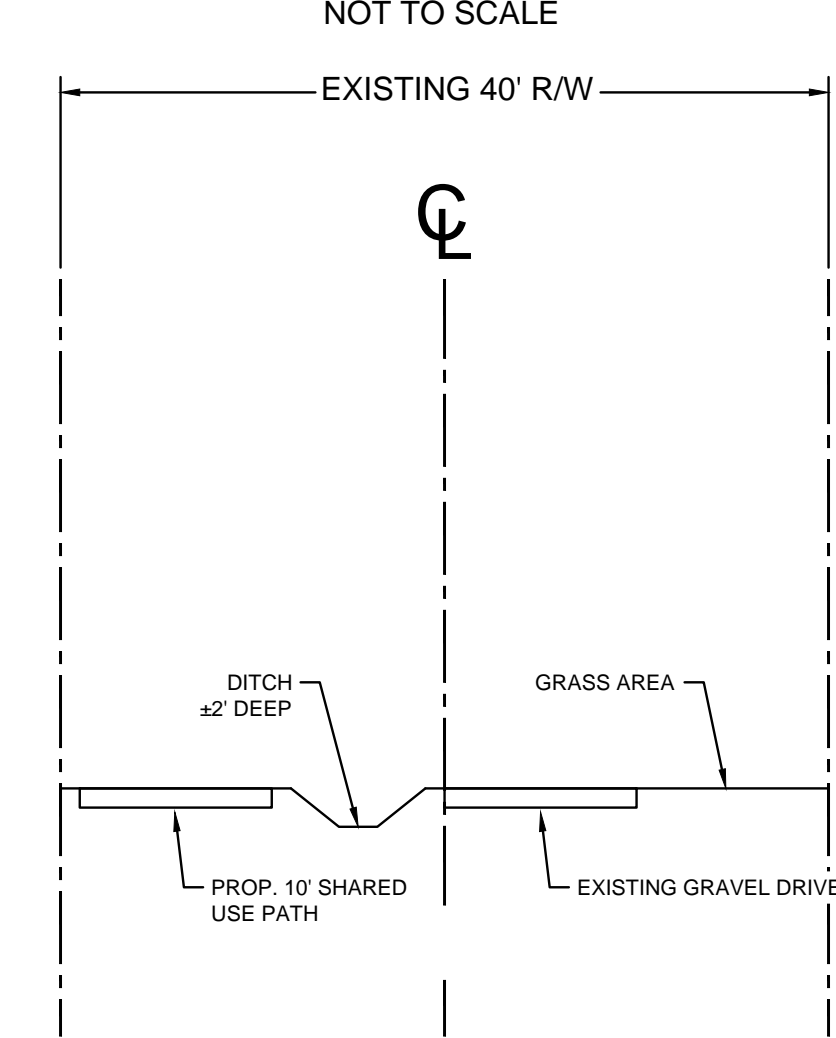
**TYPICAL SECTION B-B**  
 S. GARDNER AVE. - EX. BUILDING & ADAPTIVE REUSE CONDITION  
 NOT TO SCALE



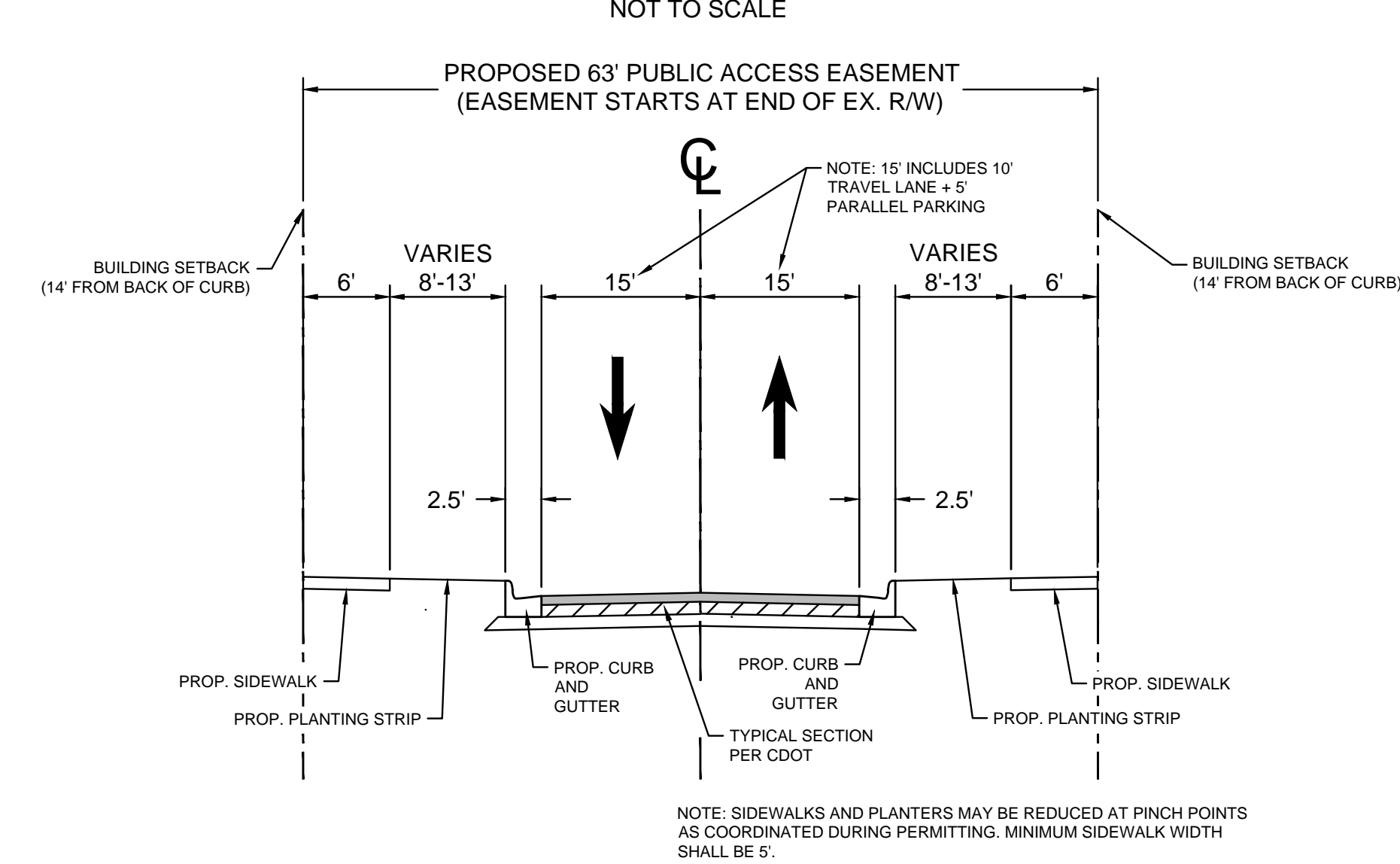
**TYPICAL SECTION E-E**  
 ROAD A (ADJACENT TO EXISTING BUILDING)  
 NOT TO SCALE



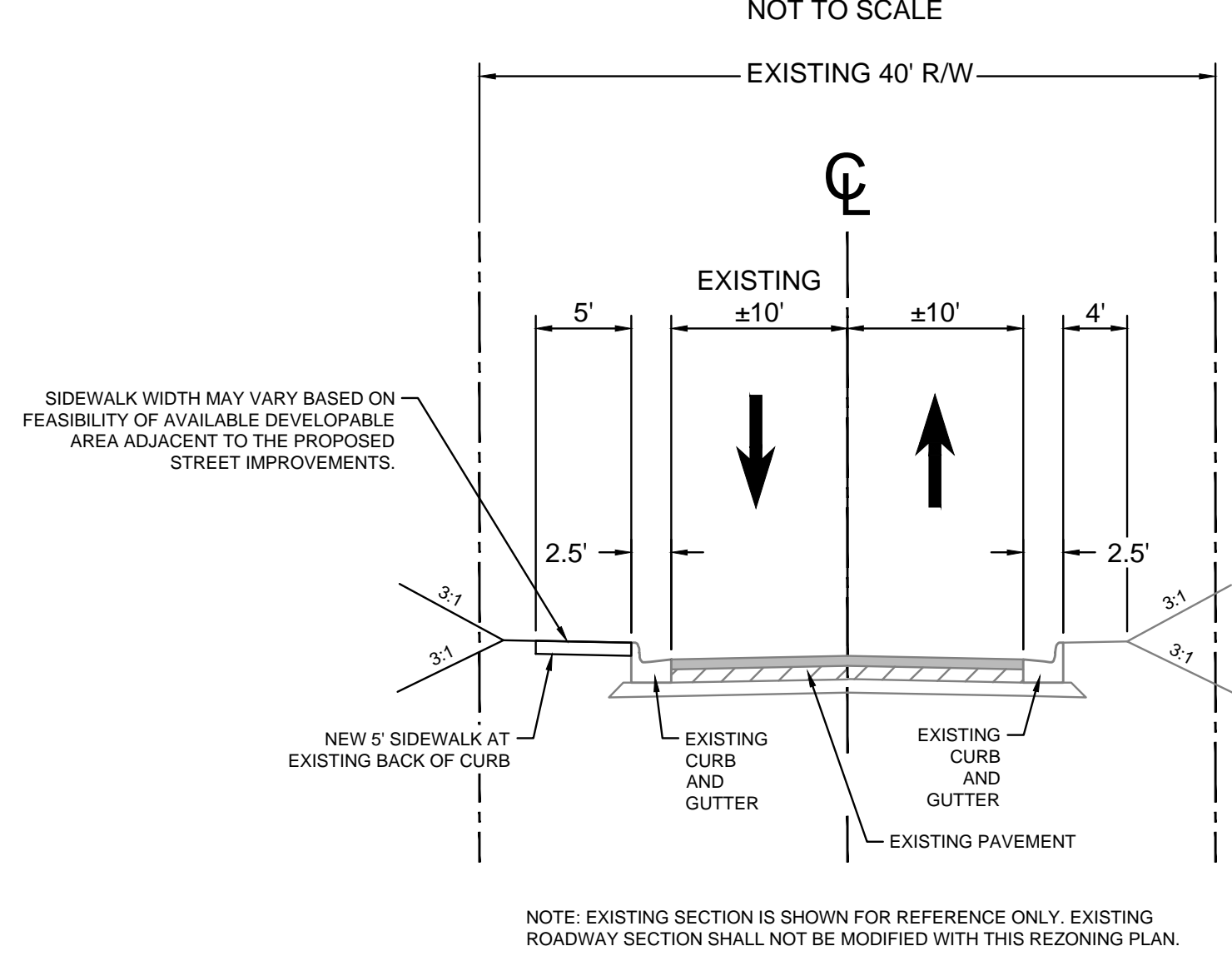
**TYPICAL SECTION H-H**  
 STEWART AVE  
 NOT TO SCALE



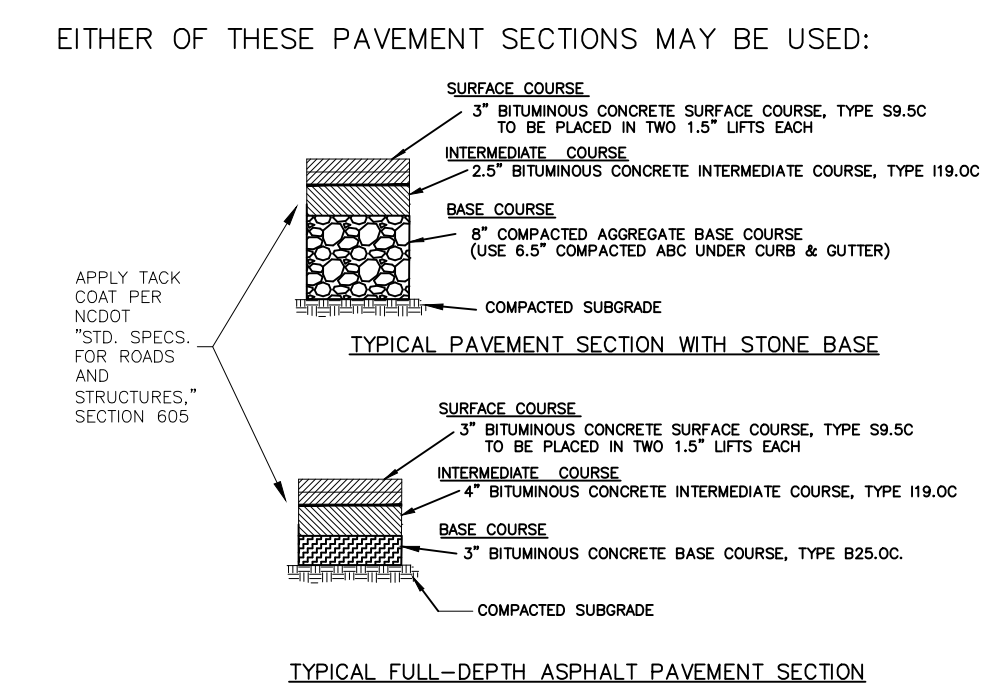
**TYPICAL SECTION C-C**  
 S. GARDNER AVE. - NEW DEVELOPMENT  
 NOT TO SCALE



**TYPICAL SECTION F-F**  
 CHAMBERLAIN AVE. - EAST OF S. GARDNER AVE.  
 NOT TO SCALE



**TYPICAL PAVEMENT SECTIONS**  
 CHAMBERLAIN AVE., S. TURNER AVE., S. GARDNER AVE.  
 NOT TO SCALE



NOTE: TYPICAL PAVEMENT SECTIONS ARE BASED ON CITY OF CHARLOTTE STANDARD DETAIL U-04

<b>Kimley</b>	© 2021 KIMLEY-HORN AND ASSOCIATES, INC. 200 SOUTH TRYON STREET, SUITE 200, CHARLOTTE, NC 28202 PHONE: 704-333-5131 WWW.KIMLEY-HORN.COM	NOT FOR CONSTRUCTION	KHA PROJECT 019292023	DATE 01/06/2021	SCALE AS SHOWN	DESIGNED BY TRH	DRAWN BY TRH	CHECKED BY RBD	REZONING PETITION NO. 2021-021	SAVONA MILL REZONING PREPARED FOR PORTMAN RESIDENTIAL CITY OF CHARLOTTE NORTH CAROLINA	SHEET NUMBER <b>RZ-05</b>
<b>TYPICAL ROADWAY SECTIONS</b>											
REVISIONS											
1 REVISED PER CITY COMMENTS 04/13/21 TRH											
DATE BY											