



KEY MAP

SEAL

**NOT FOR CONSTRUCTION**  
**PUBLIX CARMEL COMMONS**

THE MORGAN COMPANIES  
 CHARLOTTE, NC  
 REZONING PETITION # 2021-XXX

LANDESIGN PROJ.# 1020283

REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
1	1ST REZONING SUBMITTAL	12.22.2020
2	2ND REZONING SUBMITTAL	04.12.2021

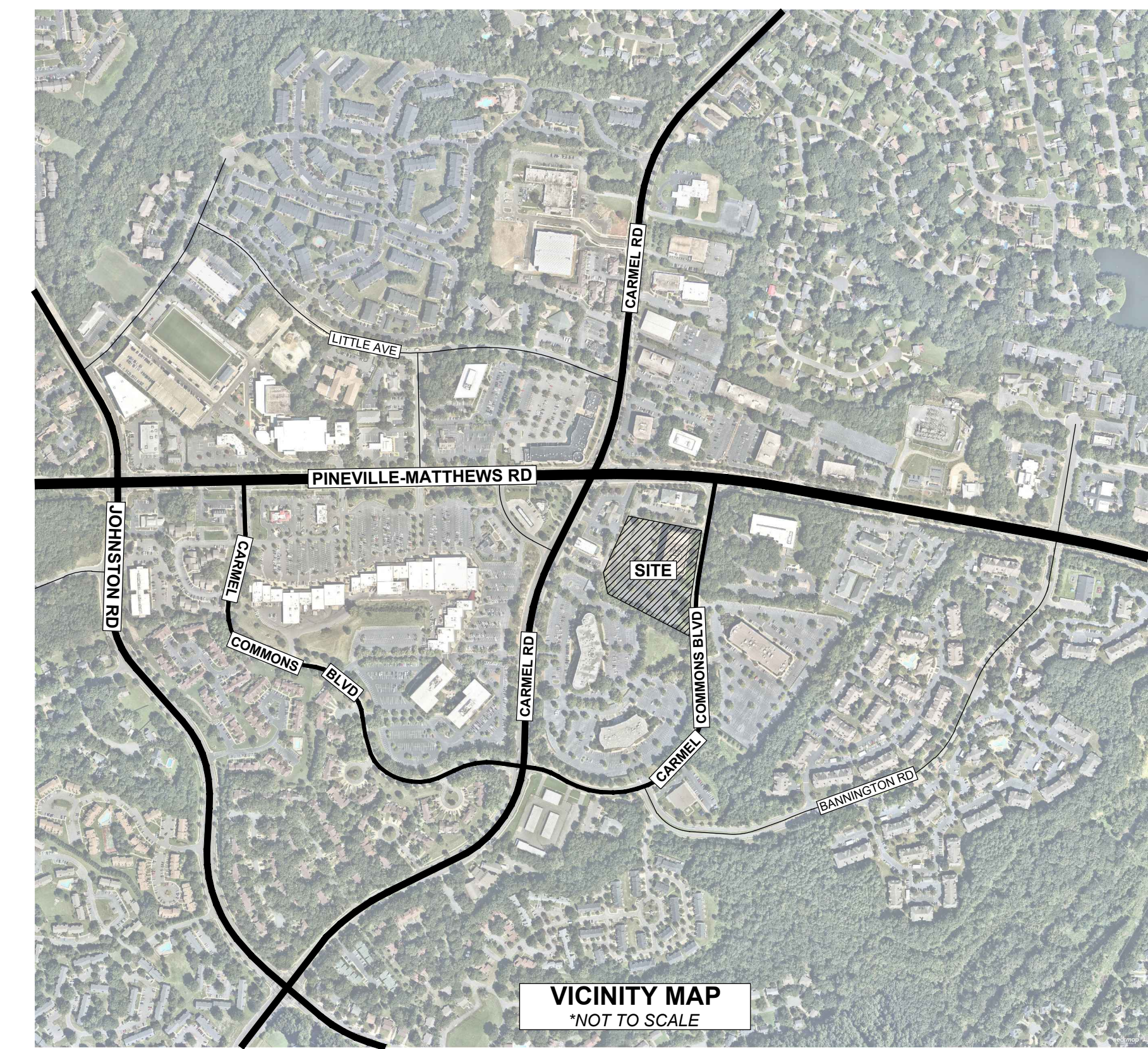
DESIGNED BY: LD  
 DRAWN BY: LD  
 CHECKED BY: LD

SCALE: NORTH  
 VERT: N/A  
 HORZ: 1"=40'

SHEET TITLE

CONCEPT PLAN

SHEET NUMBER  
**RZ-CP**



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CONSTRUCTION**

**PUBLIX CARMEL  
COMMONS**

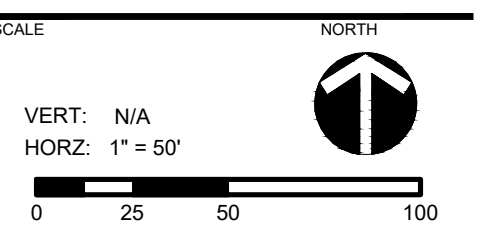
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CHARLOTTE, NC  
REZONING PETITION # 2021-XXX

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EXISTING CONDITIONS

ORIGINAL SHEET SIZE: 24" X 36"  
**RZ-EC**

**\*NOTE:** EXISTING CONDITIONS PLAN DERIVED FROM VARYING SOURCES (I.E. GIS, SURVEY, AERIAL RECONNAISSANCE, AND OBSERVATIONS). ACTUAL SITE AND/OR CONTEXT CONDITIONS MAY VARY. TO THE FULL KNOWLEDGE OF THE PETITIONER, ALL KNOWN EXISTING EASEMENTS AND ROW RESERVATIONS ARE SHOWN.

**SITE DEVELOPMENT DATA:**

- **ACREAGE:** +/- 4.41 ACRES
- **TAX PARCELS:** 221-202-02
- **EXISTING ZONING:** O-1
- **PROPOSED ZONING:** MUDD-O
- **EXISTING USES:** OFFICE
- **PROPOSED USES:** RETAIL, GROCERY
- **MAX. DEVELOPMENT:** 55,000 SQUARE FEET
- **MAX. BUILDING HEIGHT:** 50 FEET
- **PARKING:** SHALL MEET OR EXCEED MUDD ORDINANCE STANDARDS
- **TREE SAVE:** SITE IS LOCATED WITHIN A CENTER ALLOWING FOR MITIGATION OPTIONS AT 100% INCLUDING:
  - PROVIDE TREE SAVE ON SITE (ENTIRE OR IN COMBINATION)
  - PLANT OR REPLANT TREES AT A RATE OF 36 TREES PER ACRE ON-SITE (ENTIRE OR IN COMBINATION)
  - INSTALL A GREEN ROOF (ENTIRE OR IN COMBINATION)
  - UNDERTAKE EITHER OFF-SITE MITIGATION (ENTIRE OR IN COMBINATION; MAY NOT BE USED WITH PAYMENT IN LIEU)
  - PAYMENT IN LIEU (ENTIRE OR IN COMBINATION; MAY NOT BE USED WITH OFF-SITE MITIGATION)

**NOTES:**

1. THE IMAGES ARE ILLUSTRATIVE TO SHOW GENERAL INTENT, CHARACTER, RELATIONSHIPS OF USES, CIRCULATION, AND BUILDING CONFIGURATION FOR THE PURPOSES OF REZONING. FINAL CONSTRUCTION MAY VARY BASED ON PERMITTING AND UNFORESEEN CONDITIONS.
2. REFER TO EXISTING CONDITIONS AND DEVELOPMENT STANDARDS SHEETS FOR ADDITIONAL INFORMATION.

**LEGEND:**

- EXISTING PROPERTY LINE  
\*BASED ON GIS INFORMATION
- PROPOSED DEDICATED R/W
- PROPOSED SETBACK
- VEHICULAR MOVEMENT

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SCALE: NORTH  
VERT: N/A  
HORZ: 1" = 50'  
0 25 50 100

**TECHNICAL DATA**

SHEET NUMBER  
**RZ-01**

