

HOPEWAY FOUNDATION

RZP-2021-003

CHARLOTTE, NC

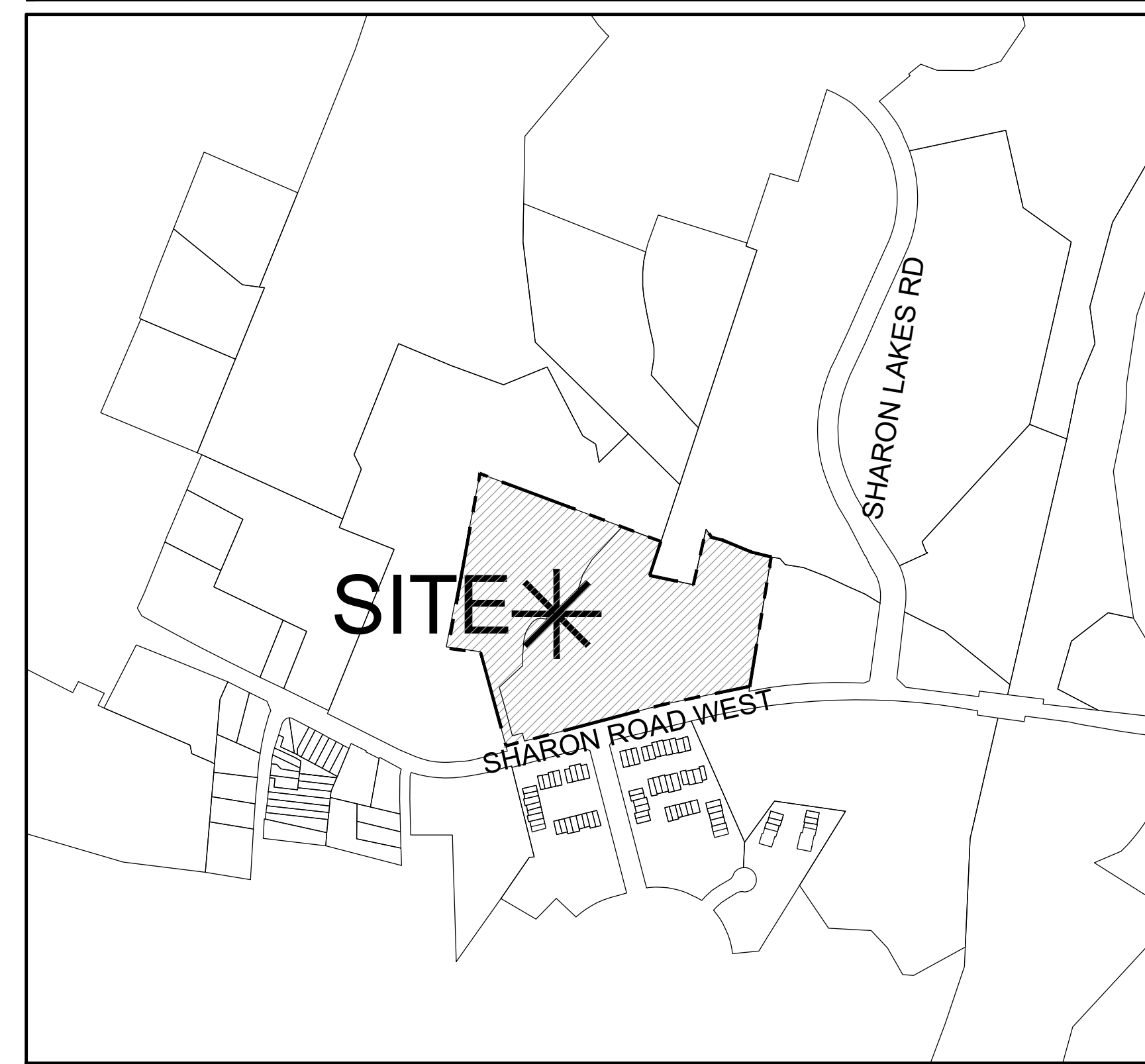
DATE: 3/15/2021

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VICINITY MAP



SCALE: 1"=500'
0 250' 500' 1000'

PROJECT TEAM

DEVELOPER

PRIMAX PROPERTIES
1100 EAST MOREHEAD ST.
CHARLOTTE, NC 28204
704.954.7211
CONTACT: WILLIAM SEYMOUR

OWNERS

HOPEWAY FOUNDATION
1717 SHARON ROAD WEST
CHARLOTTE, NC 28210

LANDSCAPE ARCHITECT

LANDDESIGN
223 NORTH GRAHAM STREET
CHARLOTTE, NC 28202
704.333.0325
CONTACT: MARK KIME

CIVIL ENGINEER

LANDDESIGN
223 NORTH GRAHAM STREET
CHARLOTTE, NC 28202
704.333.0325
CONTACT: MASON GREESON

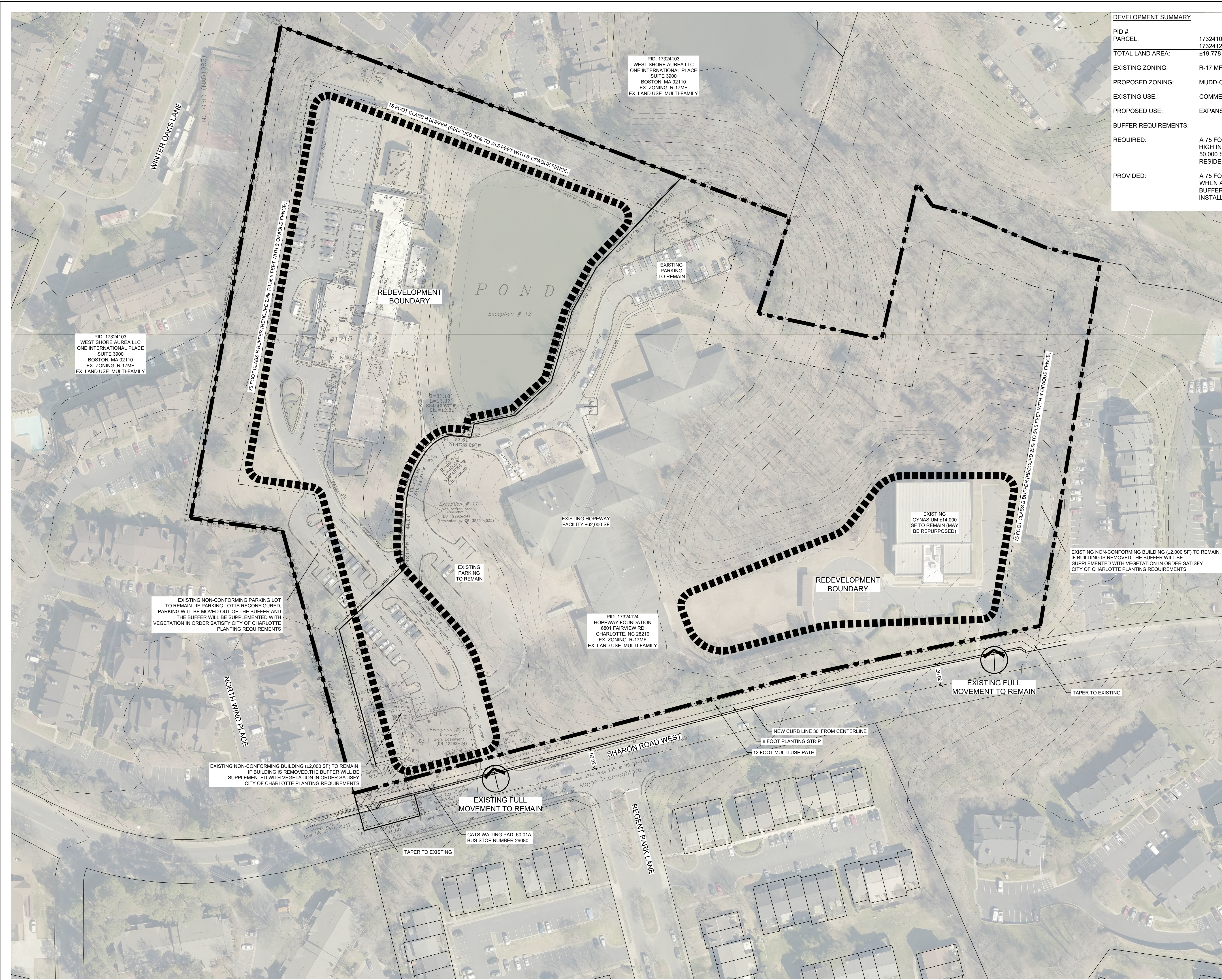
DEVELOPMENT SUMMARY

PID #: 17324105 - ±7.166 AC.
PARCEL: 17324124 - ±12.612 AC.
TOTAL LAND AREA: ±19.778 ACRES

EXISTING ZONING: R-17 MF
PROPOSED ZONING: MUDD-O

EXISTING USE: COMMERCIAL
PROPOSED USE: EXPANSION OF EXISTING INSTITUTIONAL USE

BUFFER REQUIREMENTS:
REQUIRED: A 75 FOOT CLASS B BUFFER IS REQUIRED FOR HIGH INTENSITY DEVELOPMENT IN EXCESS OF 50,000 SQUARE FEET WHEN ABUTTING RESIDENTIAL ZONING
PROVIDED: A 75 FOOT CLASS B BUFFER IS PROPOSED WHEN ABUTTING RESIDENTIAL ZONING. THIS BUFFER MAY BE REDUCED BY 25% WITH THE INSTALLATION OF A 6 FOOT OPAQUE FENCE.



KEY MAP

SEAL

NOT FOR CONSTRUCTION

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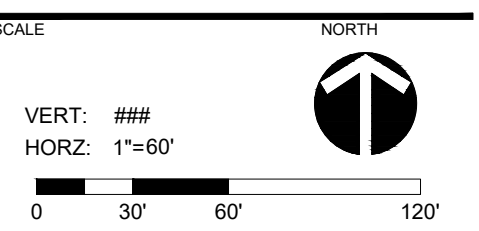
HOPEWAY FOUNDATION
1717 SHARON RD WEST
CHARLOTTE, NC 28210

LANDDESIGN PROJ.# 1019438

REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
1	REZONING SUBMITTAL	12/11/20
2	REZONING RE-SUBMITTAL	3/15/21

DESIGNED BY: MEK
DRAWN BY: JAL
CHECKED BY: LDI



TECHNICAL DATA SHEET

SHEET NUMBER: RZ-2.0

