



NORTH END DEPOT

REZONING

CHARLOTTE, NC

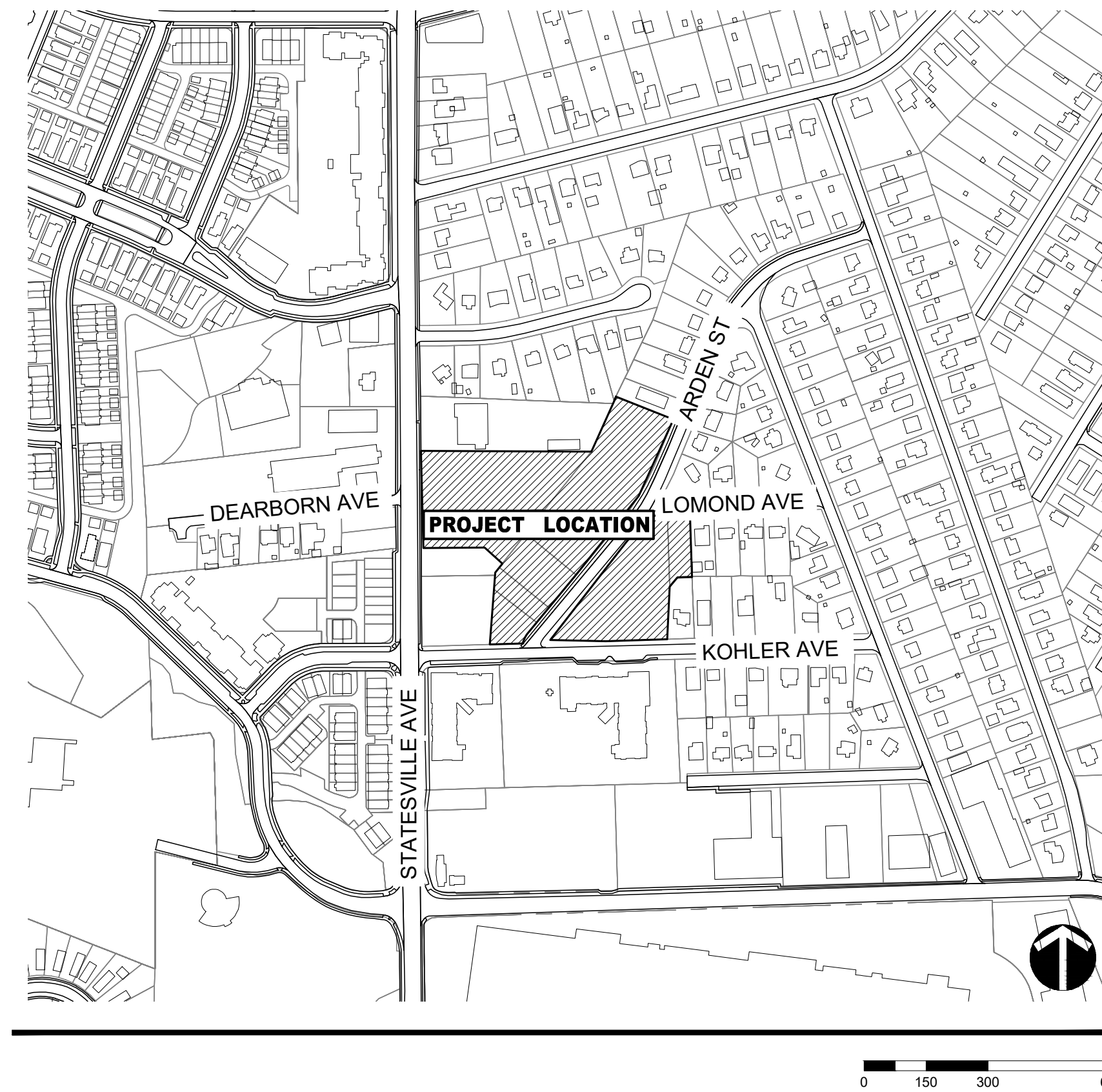
DATE: 12/06/2022

PETITION # 2021-083

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VICINITY MAP



PROJECT TEAM

PETITIONER

MQC1, LLC
2302 STATESVILLE AVENUE
CHARLOTTE, NC 28202

LANDSCAPE ARCHITECT

LANDESIGN
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CONTACT NAME:
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ARCHITECT

BB+M
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SUITE 200
CHARLOTTE, NC 28208
704.334.1716

SURVEYOR

R.B. PHARR & ASSOCIATES
969 E 7TH ST.
CHARLOTTE, NC 28204
704.376.2186

Charlotte
Planning Department
APPROVED BY CITY COUNCIL
 RZ# 2021-083
 Approved: 12/19/2022

DEVELOPMENT SUMMARY:

DEVELOPMENT SUMMARY:

TAX PARCELS: 079-048-52, 079-048-22, 079-048-28, 079-048-26,
 079-048-54, 079-048-53, 079-046-22, 079-046-01

SITE JURISDICTION: CITY OF CHARLOTTE

TOTAL SITE ACREAGE: 5.36 AC (233,304 SF)

EXISTING ZONING: I-1 (CD), B-2, R-22MF, R-5

PROPOSED ZONING: MUDD-O

EXISTING USES: VACANT

PROPOSED USES:

- PARCEL A- MULTIFAMILY RESIDENTIAL AND ASSOCIATED PARKING STRUCTURE
- PARCEL B- SINGLE FAMILY ATTACHED RESIDENTIAL
- PARCEL C- SINGLE FAMILY ATTACHED RESIDENTIAL

MAXIMUM BUILDING HEIGHT PROVIDED:

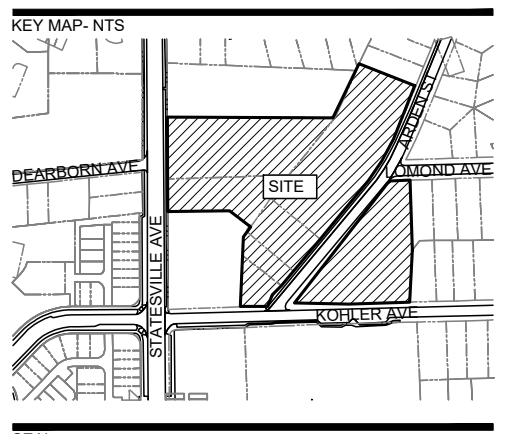
- PARCEL A- 75'
- PARCEL B- 48'
- PARCEL C- 48'

SETBACK REQUIREMENT: 14' FROM EXISTING OR FUTURE BACK OF CURB

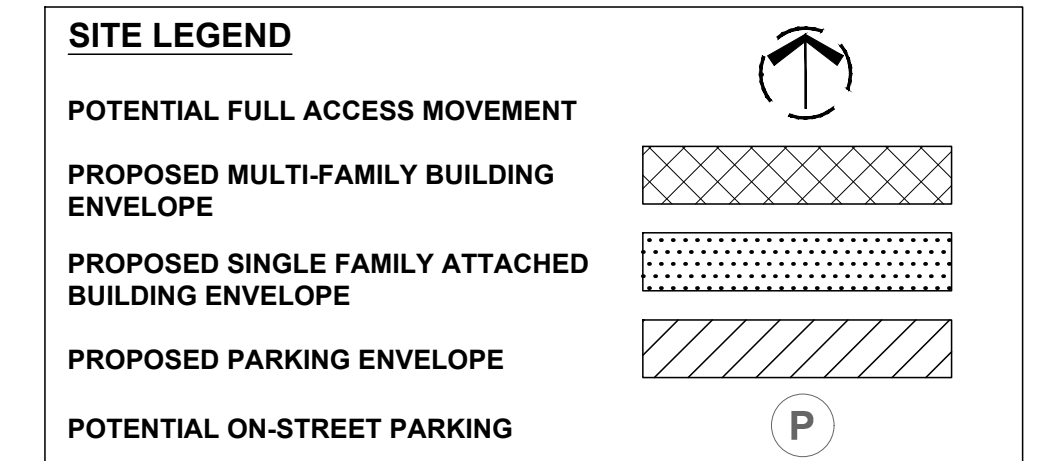
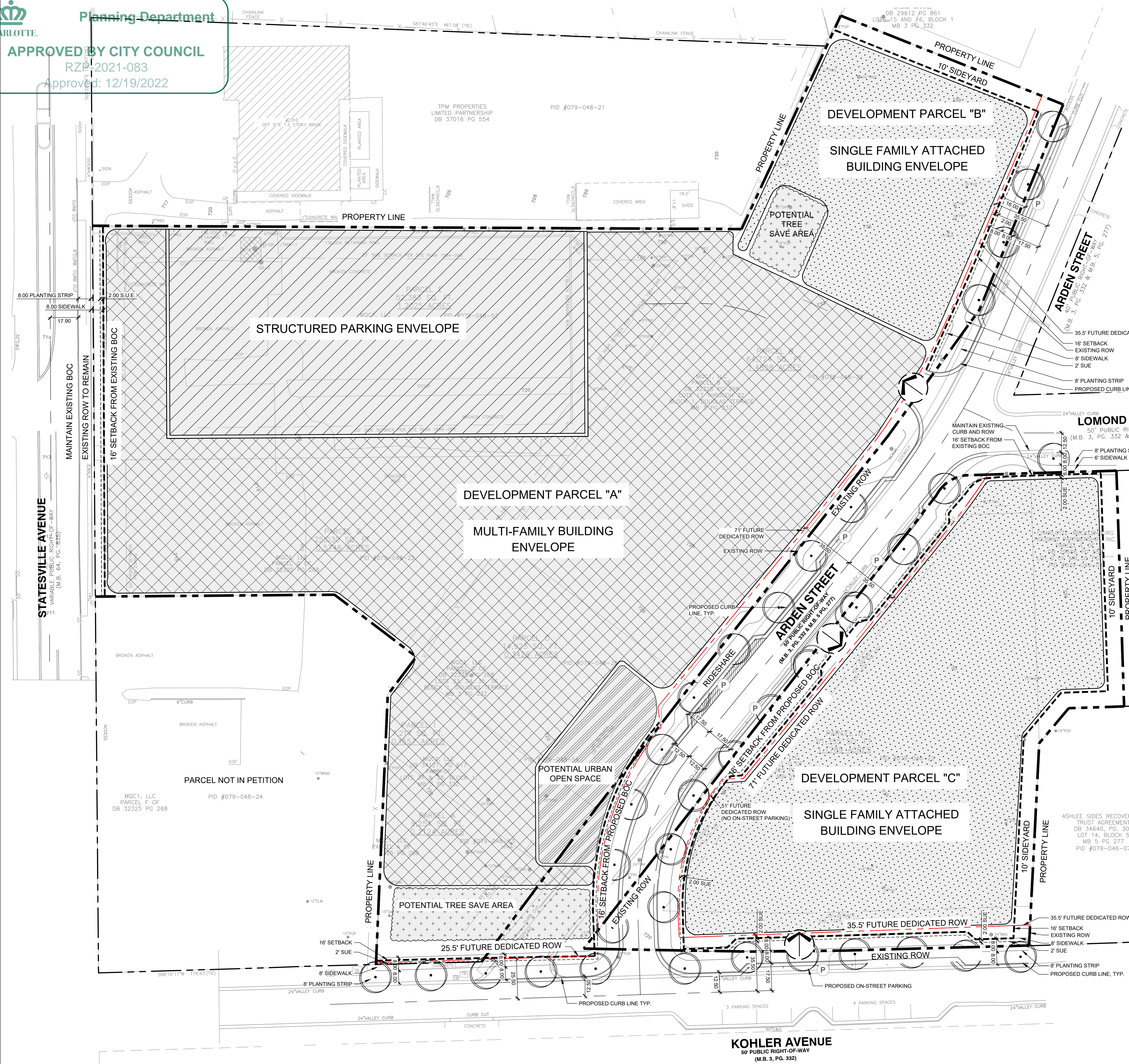
SIDEYARD REQUIREMENT: 10' SEPARATION IF ADJACENT TO A RESIDENTIAL USE

REARYARD REQUIREMENT: 10' SEPARATION IF ADJACENT TO A RESIDENTIAL USE

URBAN OPEN SPACE: 1 SF/100 SF OF LOT SIZE=
 233,304 / 100SF = 2,33.04 SF URBAN OPEN SPACE REQUIRED



NOT FOR CONSTRUCTION



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 CHARLOTTE, NC 28206

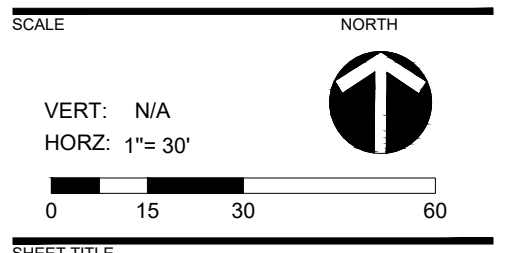
PETITION # 2021-083

LANDDESIGN PROJ# 1022163

REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
1	REZONING SET	11/23/2022
2	REZONING SET	12/06/2022

DESIGNED BY: LD
 DRAWN BY: LD
 CHECKED BY: LD



TECHNICAL DATA SHEET

SHEET NUMBER
RZ-02

REZONING PETITION # 2021-083

Site Development Data:

- Acreage: ± 5.38 acres
- Tax Parcels: 07904601, 07904622, 07904826, 07904828, 07904852, 07904853, 07904854, and 07904822
- Existing Zoning: R-22 MF, R-5, B-2, I-1(CD)
- Proposed Zoning: MUDD(CD)
- Existing Uses: Vacant
- Proposed Uses: Uses permitted by right and under prescribed conditions together with accessory uses, as allowed in the MUDD zoning district not otherwise limited in the Rezoning Plan.
- Maximum Development: 375 Multi-family and 50 single-family attached residential units
- Maximum Building Height: 75' for multi-family buildings (Area A) and 48' for single-family attached buildings (Areas B and C)
- Parking: Per Ordinance.

I. General Provisions:

- a. **Site Description.** These Development Standards and the Technical Data Sheet form the rezoning plan (hereafter collectively referred to as the "Rezoning Plan") associated with the Rezoning Petition filed by MQC1, LLC ("Petitioner") to accommodate development of a residential development on an approximately 5.38-acre site located at 2300 Statesville Avenue, more particularly described as Mecklenburg County Tax Parcel Numbers 07904601, 07904622, 07904826, 07904828, 07904852, 07904853, 07904854, and 07904822 (the "Site").
- b. **Zoning Districts/Ordinance.** Development of the Site will be governed by the Rezoning Plan as well as the applicable provisions of the City of Charlotte Zoning Ordinance (the "Ordinance"). Unless the Rezoning Plan establishes more stringent standards, the regulations established under the Ordinance for the MUDD zoning district shall govern all development taking place on the Site.

II. Permitted Uses:

Subject to the Maximum Development provisions set forth under Section III below, the Site may be devoted to multi-family and/or single-family attached uses permitted by right or under prescribed conditions in the MUDD Zoning District, together with any incidental or accessory uses associated therewith.

III. Maximum Development:

The principal building(s) constructed on the Site may be developed with a maximum of three hundred seventy-five (375) multi-family units in Development Area A and fifty (50) single-family attached residential units in Development Areas B and C, along with any accessory uses allowed in the MUDD zoning district.

IV. Transportation:

- a. Vehicular access will be as generally depicted on the Rezoning Plan. The placements and configurations of the vehicular access point(s) shown on the Rezoning Plan are subject to any minor modifications required to accommodate final site and construction plans and designs and to any adjustments required by CDOT for approval.
- b. Petitioner shall provide the following streetscape improvements along Site frontages, as generally depicted on the Rezoning Plan:
 - 1. Arden Street: 8ft planting strip and 8ft sidewalk;
 - 2. Kohler Ave: 8ft planting strip and 8ft sidewalk;
 - 3. Lomond Ave: 8ft planting strip and 6ft sidewalk; and
 - 4. Statesville Ave: 8ft planting strip and 8ft sidewalk.
- c. Petitioner shall realign Arden Street as generally depicted on the Rezoning Plan.
- d. Where necessary, the Petitioner shall dedicate and convey in fee simple all rights-of-way to the City of Charlotte before the Site's first building certificate of occupancy is issued. Right-of-way shall be set at two (2) feet behind back of sidewalk where feasible.
- e. All transportation improvements shall be substantially completed before the Site's first building certificate of occupancy is issued.
 - 1. Reference to "substantially complete" shall mean completion of the roadway improvements in accordance with the Technical Data Sheet provided, however, in the event certain non-essential roadway improvements (as reasonably determined by CDOT) are not completed at the time that the Petitioner seeks to obtain a certificate of occupancy for building(s) on the Site, then CDOT will instruct applicable authorities to allow the issuance of certificates of occupancy for the applicable buildings, and in such event the Petitioner may be asked to post a letter of credit or bond for any improvements not in place at the time such certificate of occupancy is issued to secure completion of the applicable improvements.

V. Design Guidelines:

- a. Preferred Exterior Building Materials: The principal building facades constructed on the Site and abutting a network required public or private street shall comprise a minimum of 40% of that building's entire facade facing such network street using brick, glass, natural stone (or its synthetic equivalent), stucco, fiber cement, corrugated metal, steel accents, architectural shingles or other materials approved by the Planning Director.
- b. Prohibited Exterior Building Materials: The Petitioner will not utilize (1) vinyl siding (excluding the use of vinyl handrails, windows or door trim, which shall be permitted); or (2) concrete masonry units not architecturally finished.
- c. Service Area Screening - All dumpster enclosure, refuse, recycling and storage areas shall be internal to the building/parking deck or screened from network required public or private streets with materials complimentary to the principal structure. Such design shall include a minimum 20 percent Preferred Exterior Building Materials or a Class B buffer not less than 10' in depth at all above grade perimeter not paved for access.
- d. **Multi-family Building Architectural Standards:**
 - 1. Building Massing shall be designed to break up long monolithic building forms as follows:
 - i. Buildings exceeding 120 feet in length shall include modulations of the building massing/facade plane (such as recesses, projections, and architectural details). Modulations shall be a minimum of ten (10) feet wide and shall project or recess a minimum of two (2) feet extending through at least a full floor.
 - 2. Architectural Elevation Design: elevations shall be designed to create visual interest as follows:
 - i. Buildings shall be designed with a recognizable architectural base on all facades facing network required public or private streets. Such base may be executed through the use of Preferred Exterior Building Materials or articulated architectural facade features and color changes.
 - ii. Building elevations fronting network required public or private streets shall not have expanses of blank walls greater than twenty (20) feet in all directions and architectural features such as (but not limited to) banding, medallions or design features or materials that will be provided to avoid a sterile, unarticulated blank treatment of such walls.
 - 3. Building Placement and Site Design shall focus on and enhance the pedestrian environment through the following:
 - i. Buildings shall be placed so as to present a front or side facade to all network required streets (public or private).
 - ii. Buildings shall front a minimum of 60% of the total network required street frontage on the site (exclusive of driveways, pedestrian access, points, accessible open space, tree save or natural areas, tree replanting areas and storm water facilities).
 - iii. Parking lots shall not be located between any building and any network required public or private street.
 - 4. Roof Form and Articulation - roof form and lines shall be designed to avoid the appearance of a large monolithic roof structure as follows:
 - I. Long pitched or flat roof lines shall avoid continuous expanses without variation by including changes in height and/or roof form, to include but not be limited to gables, hips, dormers or parapets.
 - II. Roof top HVAC and related mechanical equipment will be screened from public view at grade from the nearest street.
 - III. Exposed multi-level parking decks shall provide screening so that interior lighting and cars are not visible from public streets. This is primarily accomplished by the use of architectural louvers or decorative screens on all levels.
 - 5. Sidewalk extensions shall be provided between all street trees on all public and private network required streets when parking is adjacent.
 - 6. Parking deck screening – Car headlights shall be fully screened within the parking structure per Ordinance standards. Parking deck facade fronting parcel 079-048-21 shall be appropriately screened via methods including but not limited to the following options: (a) in a style to mimic the rhythm of the building's windows; (b) decorative panels, (c) a green screening method, (d) mural of public art, and/or (e) architectural precast in a style complementary to the building's architecture. Deck screening height will match height of the deck.
- e. **Single-Family Attached (Townhome-Style) Architectural Standards:**
 - 1. All single-family attached units shall be alley-loaded. No individual driveways from the single-family attached units shall be connected to a public street.
 - 2. Pitched roofs, if provided, shall be symmetrically sloped no less than 5:12, except that roofs for porches and attached sheds may be no less than 2:12, unless a flat roof architectural style is employed.

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- 3. For all units, Petitioner shall provide blank wall provisions that limit the maximum blank wall expanse to fifteen (15) feet on all building levels along public streets, provisions shall include one or more of the following but not be limited to doors, windows, shutters, awnings, material/texture or color changes, brick or stone foundation water-tables, and/or trim bands.
- 4. To provide privacy, all residential entrances within fifteen (15) feet of the sidewalk shall be raised or lowered from the average sidewalk grade a minimum of eight (8) inches.
- 5. All corner/end units where the side of the unit fronts a public or private street shall have blank wall provisions that limit the maximum blank wall expanse to ten (10) feet on all building levels for the applicable side elevation.
- 6. All townhome units shall be provided with a garage for a minimum of one (1) car.
- 7. Pedestrian walkways shall be provided to connect to drives which shall connect to sidewalks along public/private streets.
- 8. Buildings shall have a maximum of six (6) units per building when fronting a public street.
- 9. The Petitioner may subdivide the Site and create lots within the Site with no side or rear yards as part of a unified development plan.

VI. Open Space and Environmental Features:

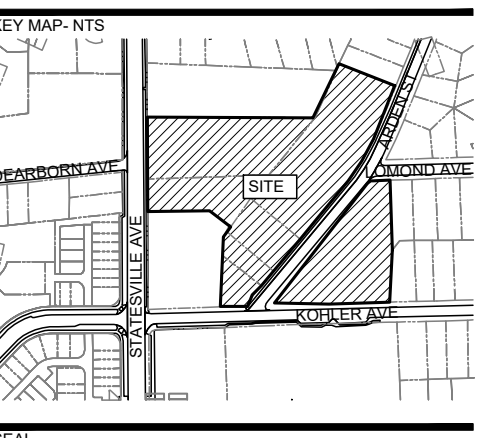
- a. The Petitioner shall comply with the requirements of the Post Construction Stormwater Ordinance.
- b. The Petitioner shall comply with the Charlotte Tree Ordinance.

VII. Amendments to the Rezoning Plan:

Future amendments to the Rezoning Plan may be applied for by the then Owner or Owners of the applicable Lot of the Site affected by such amendment in accordance with the provisions herein and of Section 6.207 of the Ordinance.

VIII. Binding Effect of the Rezoning Application:

If this Rezoning Petition is approved, all conditions applicable to the development of the Site imposed under the Rezoning Plan will, unless amended in the manner provided herein and under the Ordinance, be binding upon and inure to the benefit of the Petitioner and subsequent owners of the Site or Lot(s), as applicable, and their respective heirs, devisees, personal representatives, successors in interest or assigns.



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 CHARLOTTE, NC 28206

PETITION # 2021-083

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	REZONING SET	11/23/2022
	REZONING SET	12/06/2022

DESIGNED BY: LD
 DRAWN BY: LD
 CHECKED BY: LD

SCALE: NORTH

VERT: N/A
 HORZ: N/A

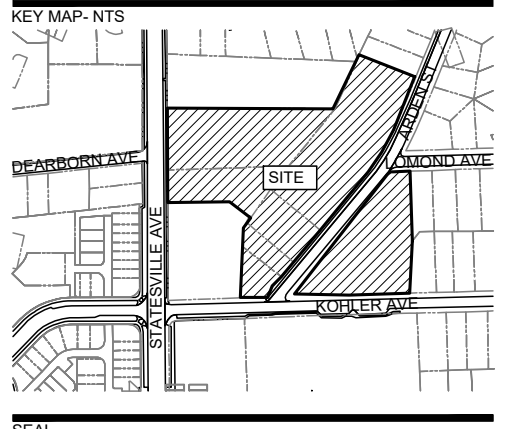
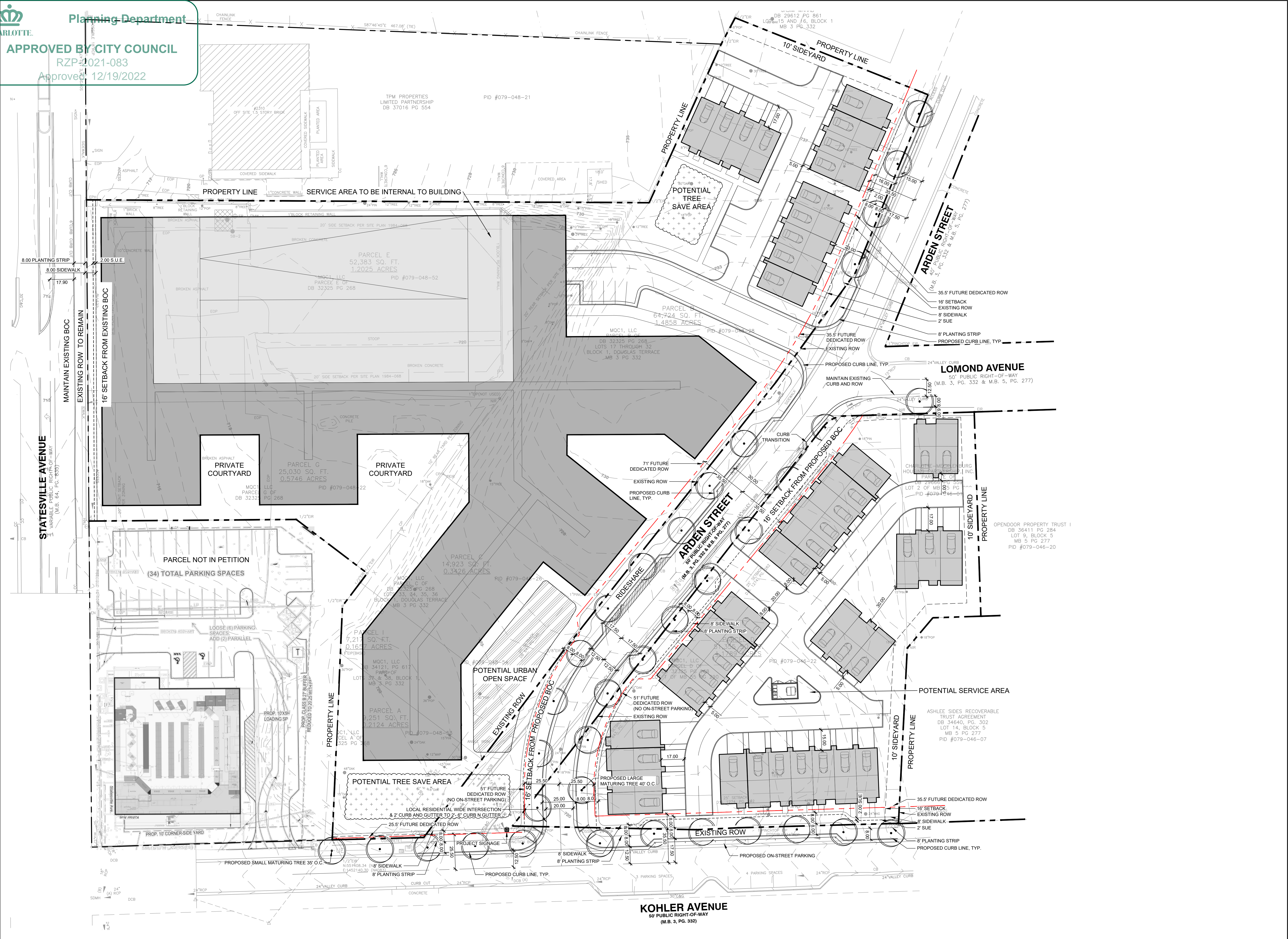
SHEET TITLE

DEVELOPMENT NOTES

SHEET NUMBER

RZ-04

REZONING PETITION # 2021-083



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DESIGNED BY: LD
 DRAWN BY: LD
 CHECKED BY: LD

SCALE: NORTH
 VERT: N/A
 HORZ: 1" = 30'

 0 15 30 60

SCHEMATIC SITE PLAN
 SHEET NUMBER
RZ-03