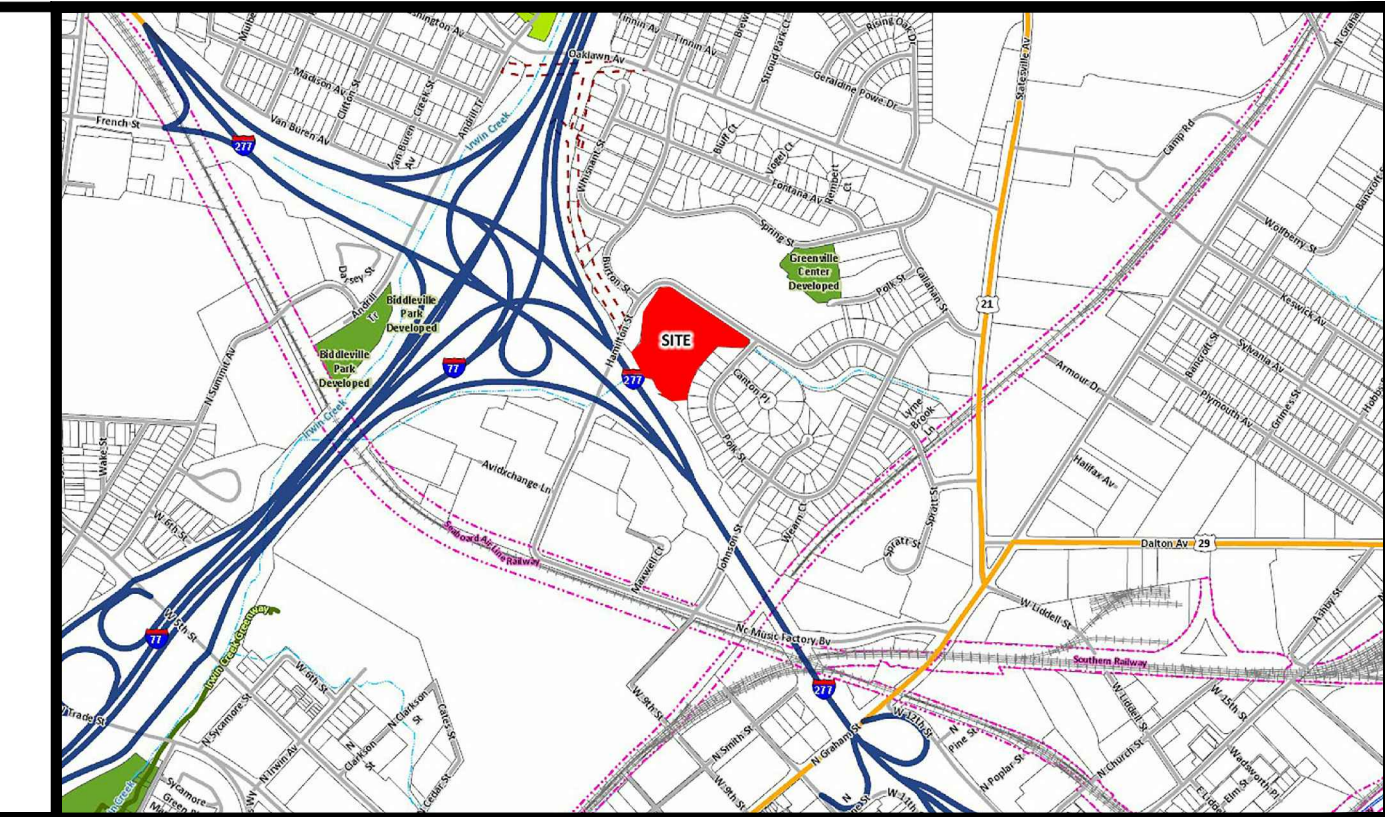


The Cue

Conditional District Rezoning - Petition # 2020-xxx

Located In:
City of Charlotte, North Carolina



Vicinity Map
Not to Scale



Site Data

Tax Parcel:	Portion of 07845301
Total Acreage:	+/- 6.694 Acres (Approximate)
Location:	City of Charlotte
Existing Zoning:	R-5
Proposed Zoning:	UR-2 (CD) with 5 year vested rights
Existing Use:	Vacant
Proposed Use:	Single Family Residential (Attached)
Permitted # of Units:	Up to 89 Single Family Attached (Townhome) Units
Proposed Density:	13.3 Dwelling Units Per Acre (DUA)
Maximum Building Height:	Fifty (50) feet
Parking:	1 Parking Space Per Unit per UR-2 Minimum Requirements
Open Space:	
Required:	400 SF per Unit or 10% Site Area Common Open Space
Proposed:	400 SF per Unit or 10% Site Area Common Open Space
Tree Save:	
Required:	+/- 1.00 Acres (15%)
Provided:	+/- 1.00 Acres (15%) Minimum*

* Tree save acreage based on 15% of gross site acreage (+/- 6.69 Acres) = +/- 1.00 Acres of Tree Save Area

General Notes

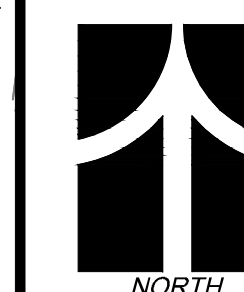
- Base information obtained from Mecklenburg County GIS and "ALTA/NSPS Land Title Survey of: Short Development Group, LLP Property" provided by ESP Associates Inc., dated March 19, 2020 for Tri Pointe Group Homes, and should be verified for accuracy.
- Stream / Wetland Information obtained from Mecklenburg County GIS and should be verified for accuracy.

Legend

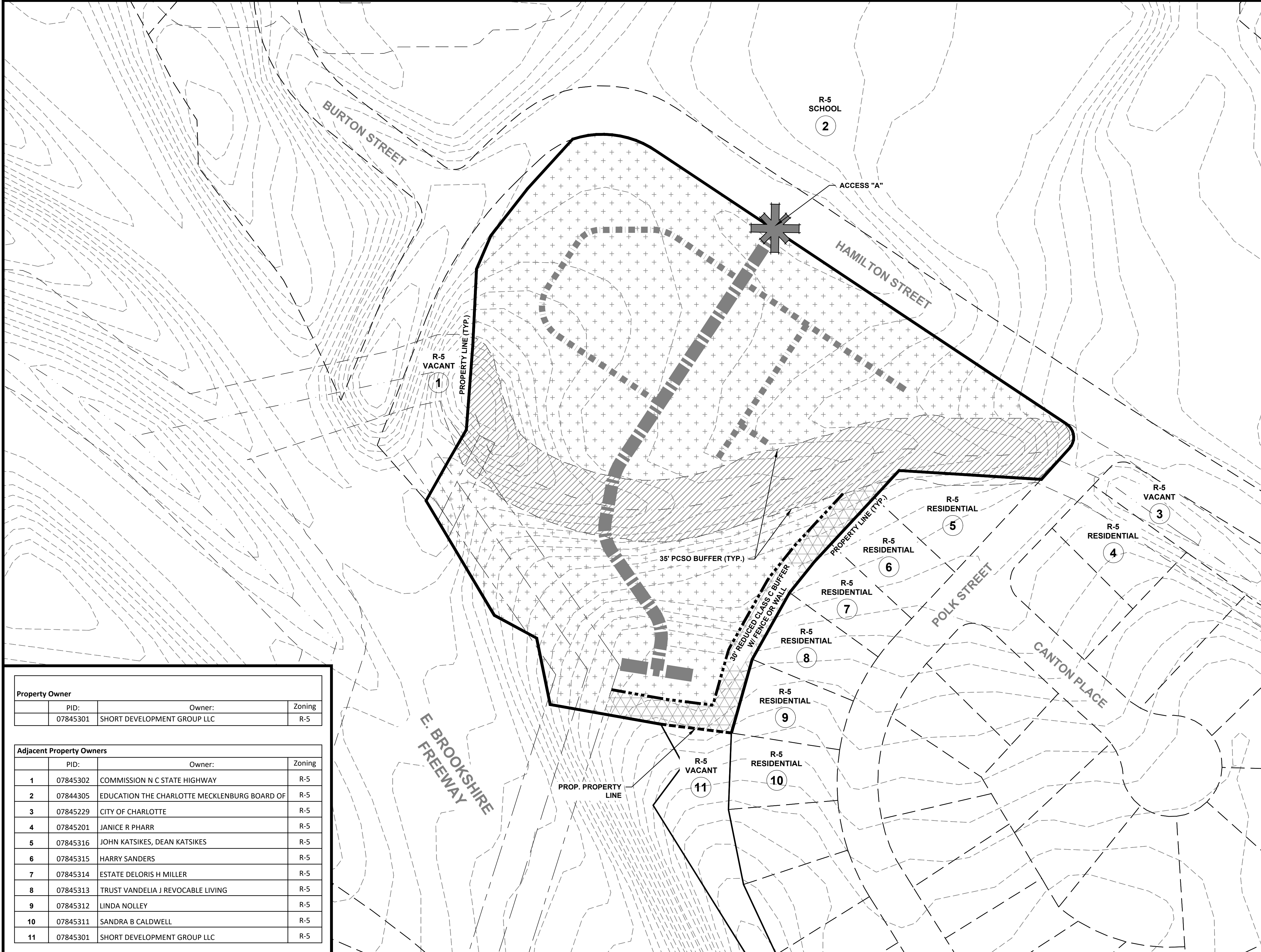
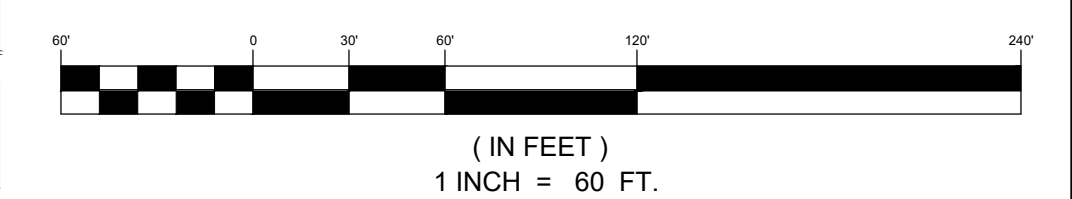
	Residential Development Area - Building & Parking Envelope
	Private Street
	Private Alley
	Proposed Access Location
	Proposed Buffer

INDEX OF SHEETS

SHEET NO.	SHEET NAME	ORIGINAL DATE	REVISED DATE
1 of 4	CONCEPTUAL SITE PLAN	03/31/2020	
2 of 4	TECHNICAL DATA & OPEN SPACE CONCEPTS	03/31/2020	
3 of 4	MASTER PLAN	03/31/2020	
4 of 4	CONCEPTUAL MASTER PLAN	03/31/2020	



GRAPHIC SCALE



Property Owner			
PID:	Owner:	Zoning	
07845301	SHORT DEVELOPMENT GROUP LLC	R-5	

Adjacent Property Owners			
PID:	Owner:	Zoning	
1	07845302 COMMISSION N C STATE HIGHWAY	R-5	
2	07844305 EDUCATION THE CHARLOTTE MECKLENBURG BOARD OF	R-5	
3	07845229 CITY OF CHARLOTTE	R-5	
4	07845201 JANICE R PHARR	R-5	
5	07845316 JOHN KATSIKES, DEAN KATSIKES	R-5	
6	07845315 HARRY SANDERS	R-5	
7	07845314 ESTATE DELORIS H MILLER	R-5	
8	07845313 TRUST VANDELIA J REVOCABLE LIVING	R-5	
9	07845312 LINDA NOLLEY	R-5	
10	07845311 SANDRA B CALDWELL	R-5	
11	07845301 SHORT DEVELOPMENT GROUP LLC	R-5	

NO.	DATE	REVISION	BY

CONCEPTUAL SITE PLAN
 REZONING PETITION # 2020-xxx
THE CUE
 CITY OF CHARLOTTE
 TRI POINTE HOMES

PROJECT INFORMATION	
PROJECT MANAGER:	MM
DESIGNED BY:	AB
DRAWN BY:	AB
PROJECT NUMBER:	HV12.101
ORIGINAL DATE:	03/31/2020
SHEET:	1 OF 4

The Cue - Petition # 2020-XXX Conditional District Rezoning - Development Standards

I. General Provisions

- These Development Standards form a part of the Rezoning Plan associated with the Rezoning Petition filed by Tripointe Homes (the "Petitioner") to accommodate the development of a single-family attached (townhome) residential community on that approximately 6.694-acre site located near the intersection of Hamilton Street and Burton Street, more particularly depicted on the Rezoning Plan (the "Site"). The Site is comprised of a portion of Tax Parcel Number 078-453-01.
- Development of the Site will be governed by the Rezoning Plan, these Development Standards and the applicable provisions of the City of Charlotte Zoning Ordinance (the "Ordinance").
- Unless the Rezoning Plan or these Development Standards establish more stringent standards, the regulations established under the Ordinance for the UR-2 zoning district shall govern the development and use of the Site.
- The development and street layout depicted on the Rezoning Plan are schematic in nature and are intended to depict the general arrangement of such uses and improvements on the Site. Accordingly, the ultimate layout, locations and sizes of the development and site elements depicted on the Rezoning Plan are graphic representations of the proposed development and site elements, and they may be altered or modified in accordance with the setback, yard, landscaping and tree save requirements set forth on this Rezoning Plan and the Development Standards, provided, however, that any such alterations and modifications shall be minor in nature and not materially change the overall design intent depicted on the Rezoning Plan.
- Future amendments to the Rezoning Plan and/or these Development Standards may be applied for by the then owner(s) of the Site in accordance with the provisions of Chapter 6 of the Ordinance. Minor alterations to the Rezoning Plan are subject to Section 6.207 of the Ordinance.

II. Permitted Uses

The Site may be devoted only to a residential community containing a maximum of eighty-nine (89) single-family attached dwelling units and any incidental and accessory uses relating thereto that are permitted in the UR-2 zoning district.

III. Transportation

- Vehicular access to the Site shall be as generally depicted on the Rezoning Plan. The placement and configuration of the vehicular access points are subject to any minor modifications required to accommodate final site and construction plans and designs and as required for approval by the Charlotte Department of Transportation (CDOT).
- As depicted on the Rezoning Plan, the Site will be served by internal private streets and private alleys, and minor adjustments to the location of these streets/alleys shall be allowed during the construction permitting process in coordination with CDOT.
- Petitioner shall provide internal sidewalks and pedestrian connections on the Site as generally depicted on the Rezoning Plan. Internal sidewalks may meander to save existing trees.
- Petitioner shall dedicate all rights-of-way where necessary, in fee simple conveyance to the City of Charlotte prior to the issuance of the Site's first building certificate of occupancy.
- Unless stated otherwise herein, the Petitioner shall ensure that all transportation improvements are substantially completed prior to the issuance of the Site's first building certificate of occupancy.

IV. Architectural Standards

- All townhome units shall be alley-loaded.
- Preferred Exterior Building Materials: All principal and accessory buildings shall be comprised of a combination of portions of brick, brick veneer, natural stone (or its synthetic equivalent), stucco, cementitious siding, fiber cement ("HardiPlank") and/or other materials approved by the Planning Director.
- Prohibited Exterior Building Materials: (i) vinyl siding, excluding vinyl handrails, windows, soffits, doors, garage doors, railings, or trim, and (ii) concrete masonry units not architecturally finished.
- Pitched roofs, if provided, shall be symmetrically sloped no less than 5:12, except that roofs for porches and attached sheds may be no less than 2:12, unless a flat roof architectural style is employed.
- Roof overhangs, eaves, cornices, chimneys, gutters, vents, bay windows, pilasters, pillars, open porches (if provided), and other architectural elements may project up to twenty-four (24) inches into the required setbacks.
- Corner/end units fronting public streets, if provided, shall have enhanced side elevations with a front or rear stoop and/or porch or otherwise provide windows or other architectural details to limit the maximum blank wall expanse to twenty (20) feet on each level of the unit. If a porch is utilized, it may be located on the second story of such unit.
- For all units, Petitioner shall provide blank wall provisions that limit the maximum blank wall expanse to thirty (30) feet on all building levels, including but not limited to doors, windows, awnings, material or color changes, and/or architectural design elements.
- Roof top terraces may be installed on any/all units on the Site, at the Petitioner's option.
- All townhome units shall be provided with a garage for a minimum of one (1) car.
- The Petitioner may subdivide the Site and create lots within the Site with no side or rear yards as part of a unified development plan.

V. Environmental Features

- The Petitioner shall comply with the Charlotte City Council approved and adopted Post Construction Stormwater Ordinance. The location, size, and type of storm water management systems depicted on the Rezoning Plan are subject to review and approval as part of the full development plan submittal and are not implicitly approved with this rezoning. Adjustments may be necessary in order to accommodate actual storm water treatment requirements and natural site discharge points
- The Petitioner shall comply with the Charlotte Tree Ordinance.

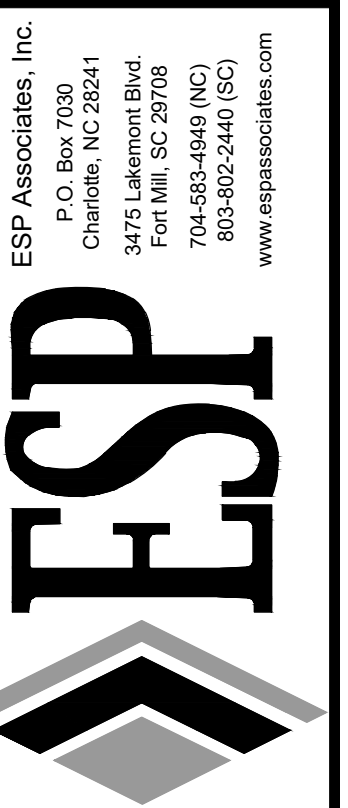
VI. Lighting

- All freestanding lighting fixtures installed on the Site greater than twenty-one (21) feet in total height (i.e., excluding decorative lighting less than 21' in height that may be installed along the driveways and sidewalks as pedestrian/landscaping lighting) shall be fully capped and shielded and the illumination downwardly directed.

VII. Binding Effect of the Rezoning Documents and Definitions

If this Rezoning Petition is approved, all conditions applicable to development of the Site imposed under the Rezoning Plan and these Development Standards will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of the Petitioner and subsequent owners of the Site and their respective successors in interest and assigns.

Throughout these Development Standards, the terms, "Petitioner" and "Owner" or "Owners" shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of the Petitioner or the owner or owners of any part of the Site from time to time who may be involved in any future development thereof.



NO.	DATE	REVISION	BY

TECHNICAL DATA SHEET
REZONING PETITION # 2020-XXX

THE CUE

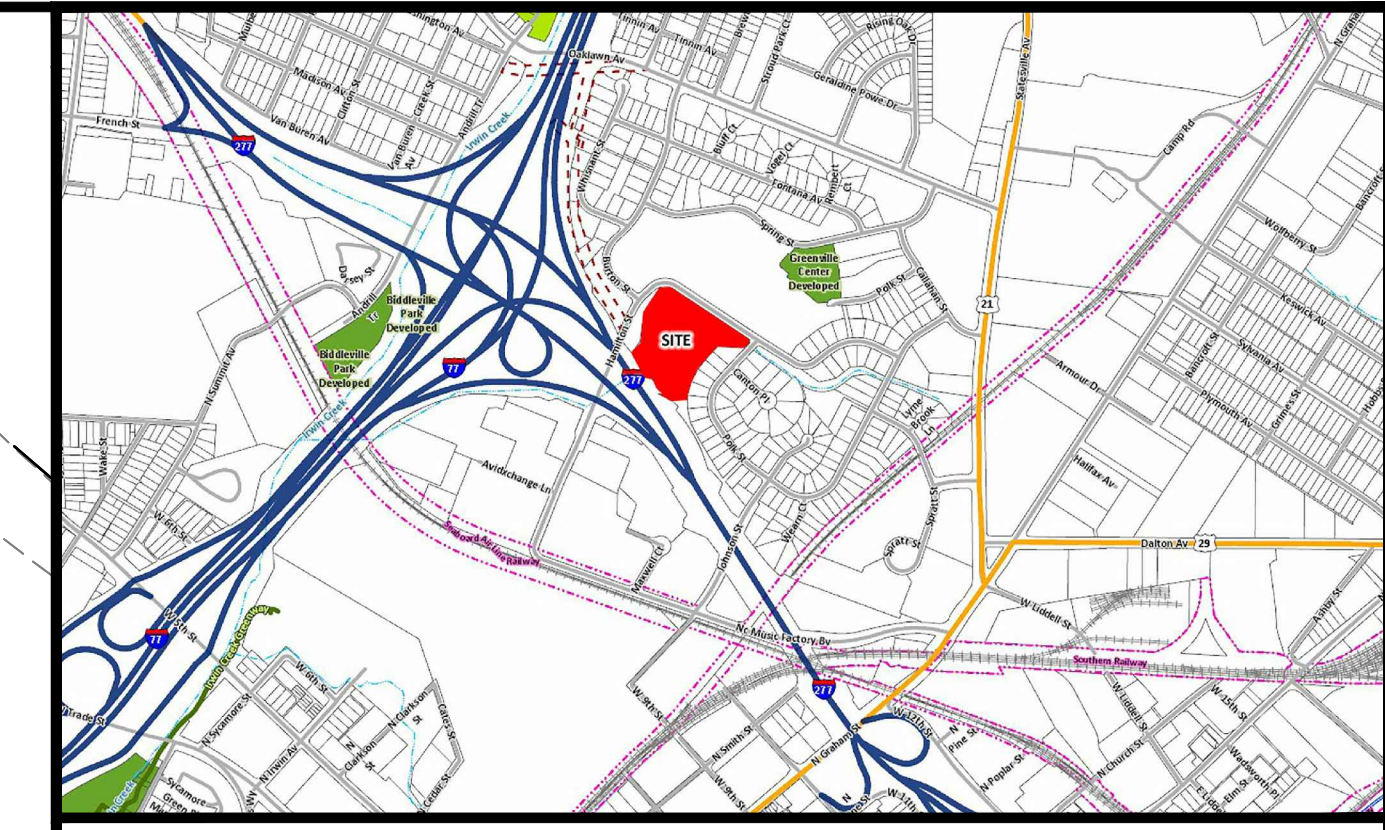
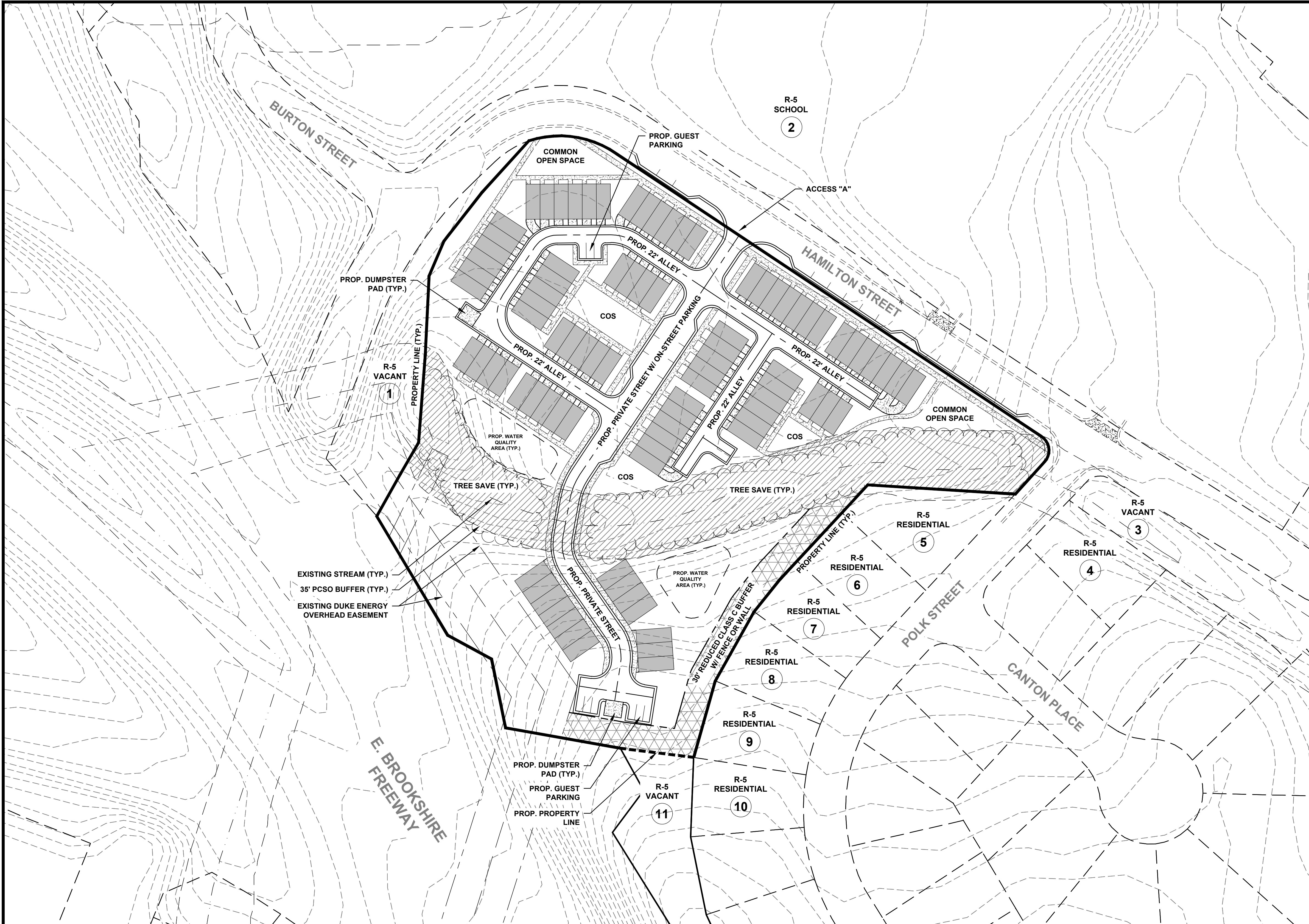
TRI POINTE HOMES

CITY OF CHARLOTTE

PROJECT INFORMATION	
PROJECT MANAGER:	MM
DESIGNED BY:	AB
DRAWN BY:	AB
PROJECT NUMBER:	HV12.101
ORIGINAL DATE:	03/31/2020

U:\2019 Projects (HV)\HV12 - Hamilton Street (TP\Power)\Submittal Working Drawings\2020_03_xx - Hamilton Street Conditional Rezoning - 1st Rezoning\Sheet\HV12 - The Cue - Technical Data.dwg, Technical Data, abonda

U:\2019 Projects (HV12) - Hamilton Street (TriPointe) Submittal Working Drawings\2020_03_xx - Hamilton Street Conditional Rezoning - 1st Rezoning\Sheets\HV12 - The Cue - Master Plan.dwg, Master Plan, abnoda



Vicinity Map
Not to Scale

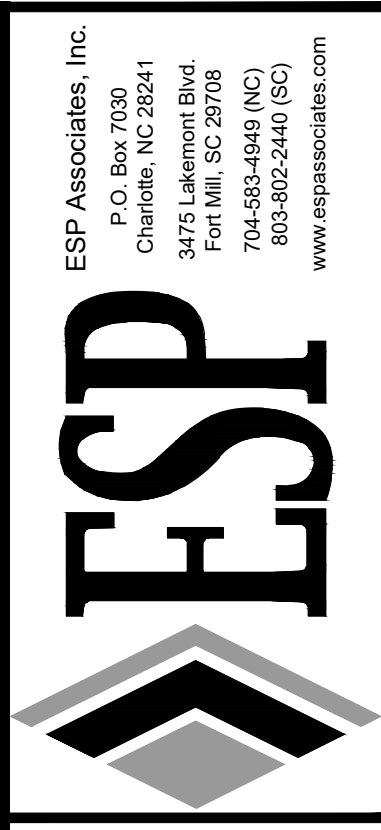
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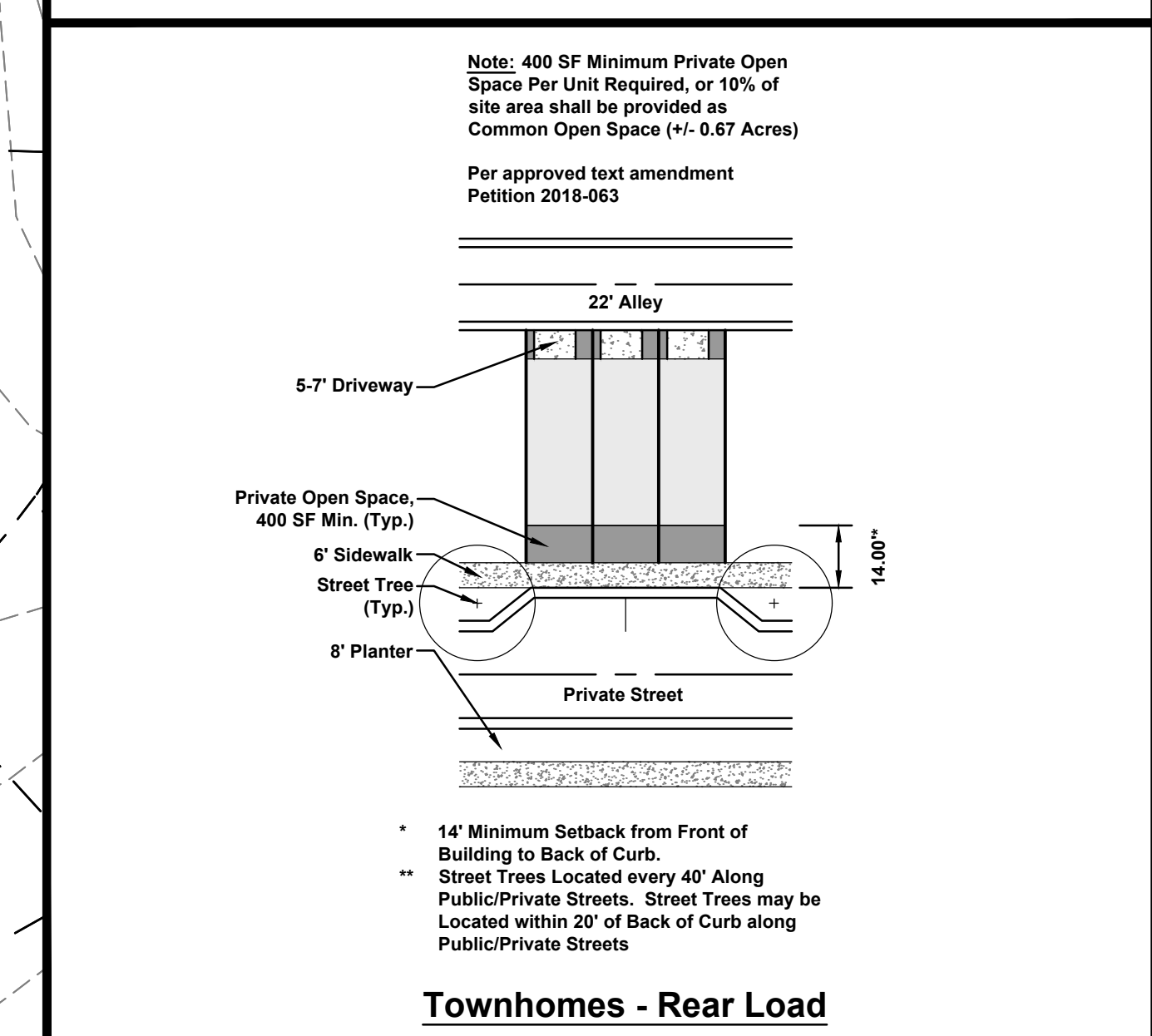
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General Notes

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Typical Unit Details
Not to Scale



Townhomes - Rear Load

NOTE: 400 SF Minimum Private Open Space Per Unit Required, or 10% of site area shall be provided as Common Open Space (+/- 0.67 Acres)

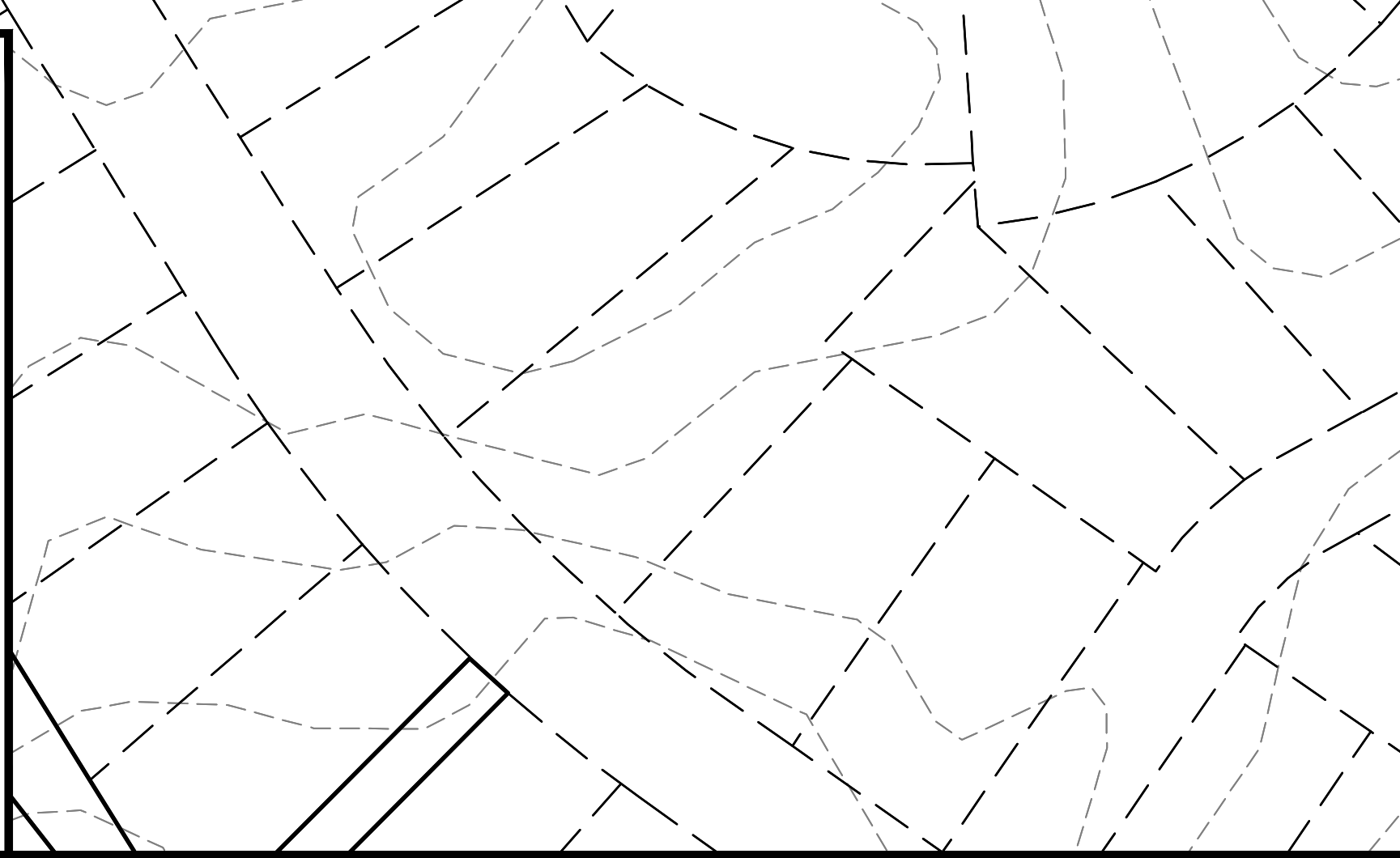
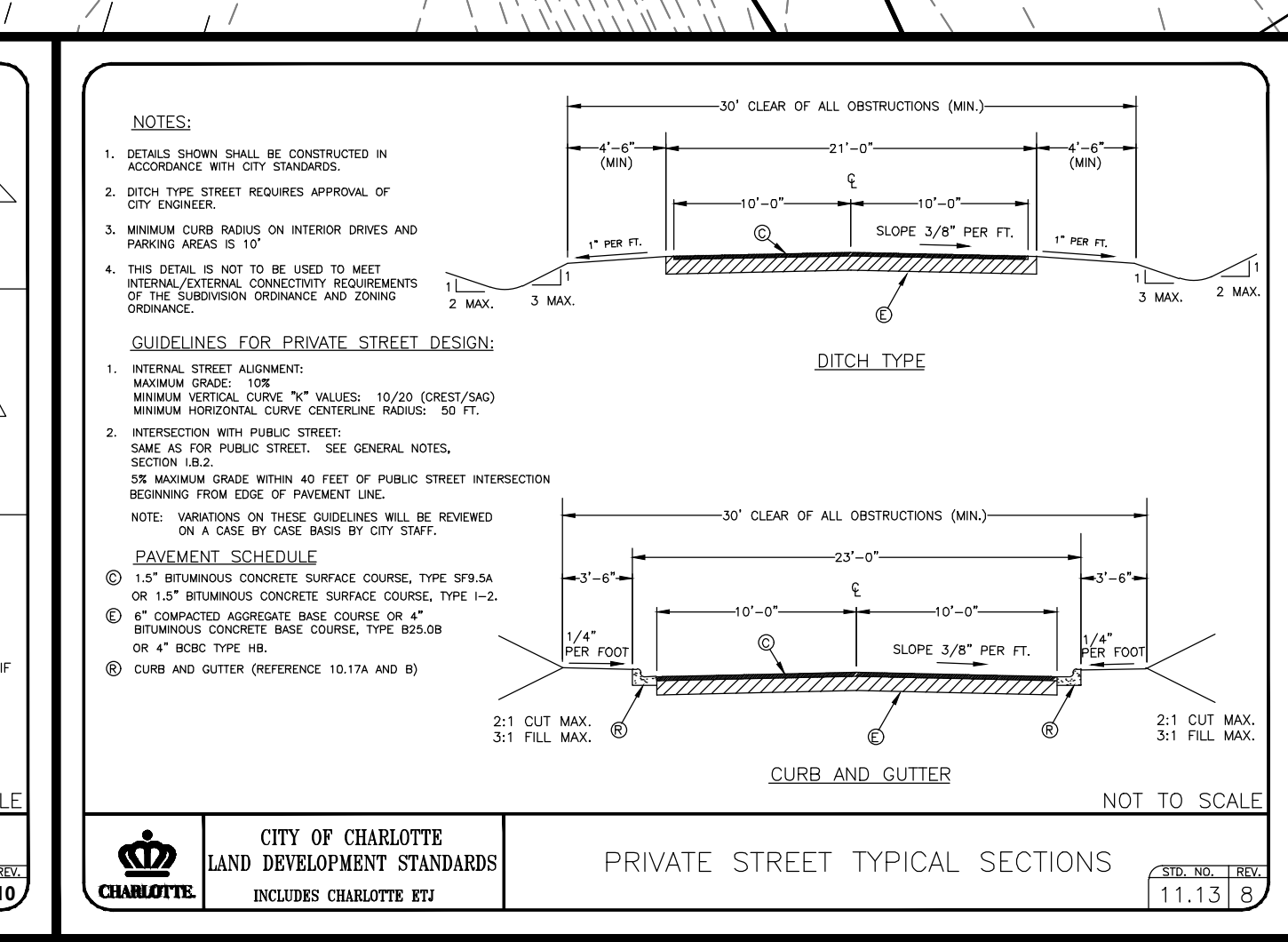
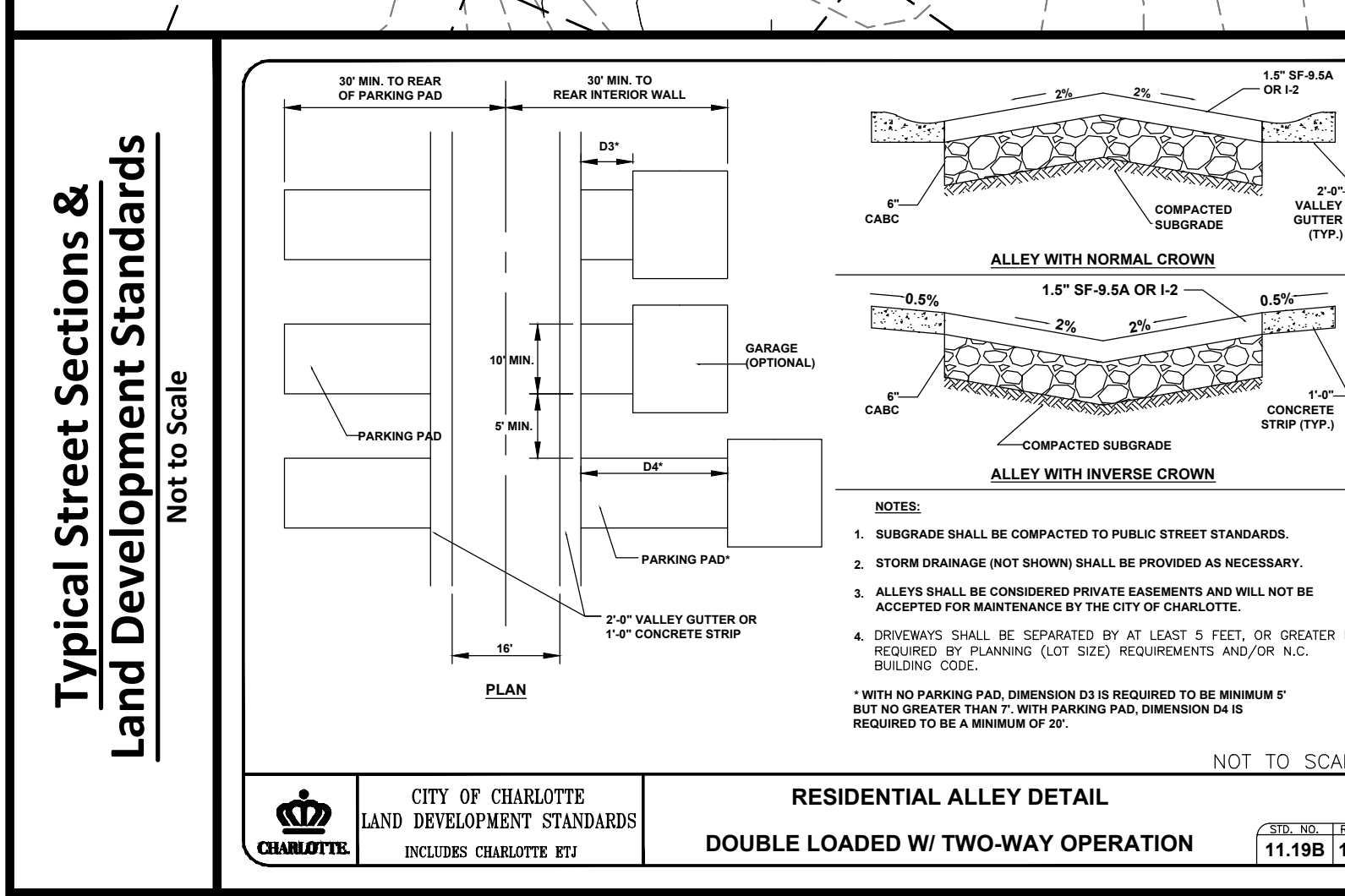
Per approved text amendment
Petition 2018-063

14' Minimum Setback from Front of Building to Back of Curb.
Street Trees Located every 40' Along Public/Private Streets. Street Trees may be Located within 20' of Back of Curb along Public/Private Streets

GRAPHIC SCALE
(IN FEET)
1 INCH = 60 FT.

PROJECT INFORMATION

PROJECT MANAGER:	MM
DESIGNED BY:	AB
DRAWN BY:	AB
PROJECT NUMBER:	HV12.101
ORIGINAL DATE:	03/31/2020
SHEET:	3 OF 4



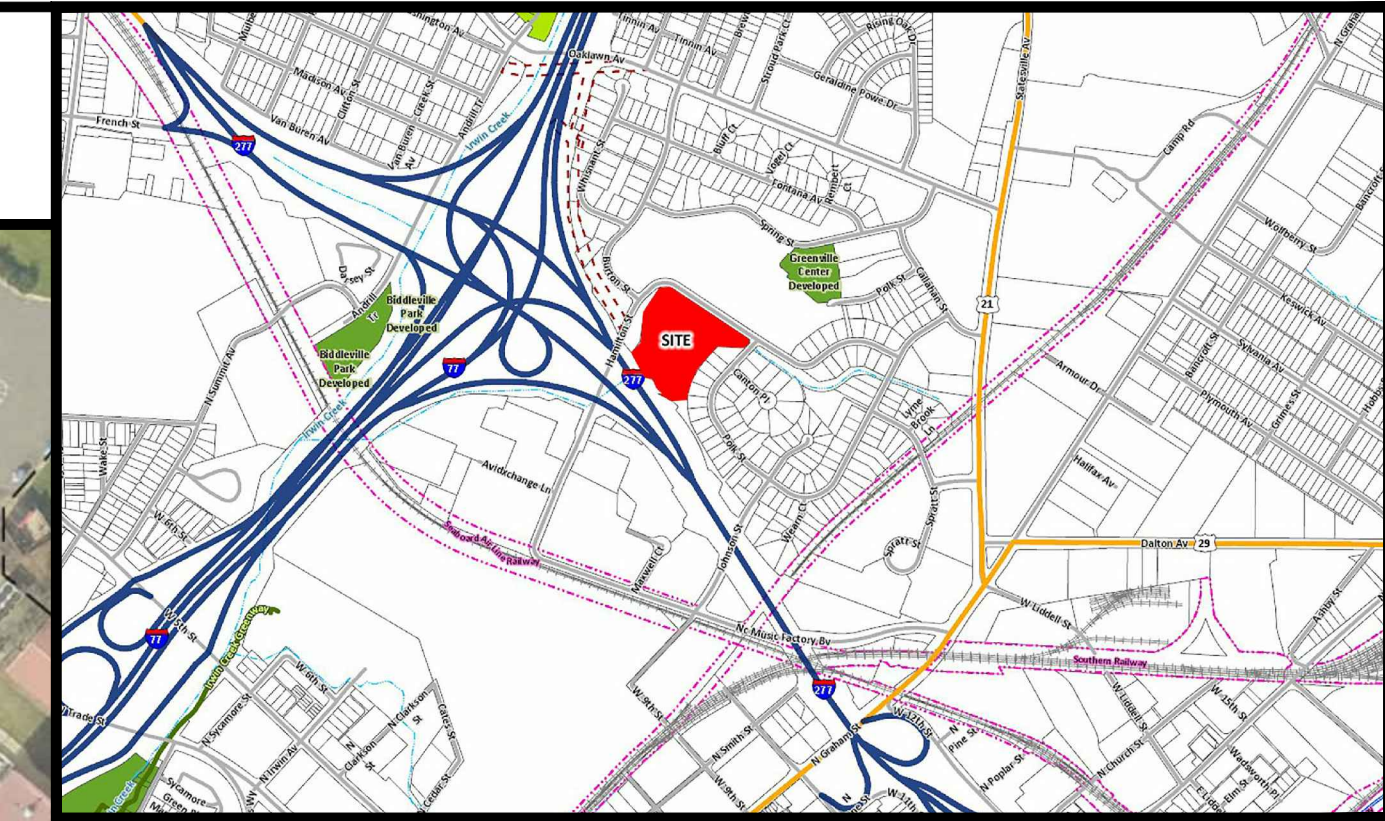
MASTER PLAN - REZONING PETITION # 2020-XXX

CITY OF CHARLOTTE

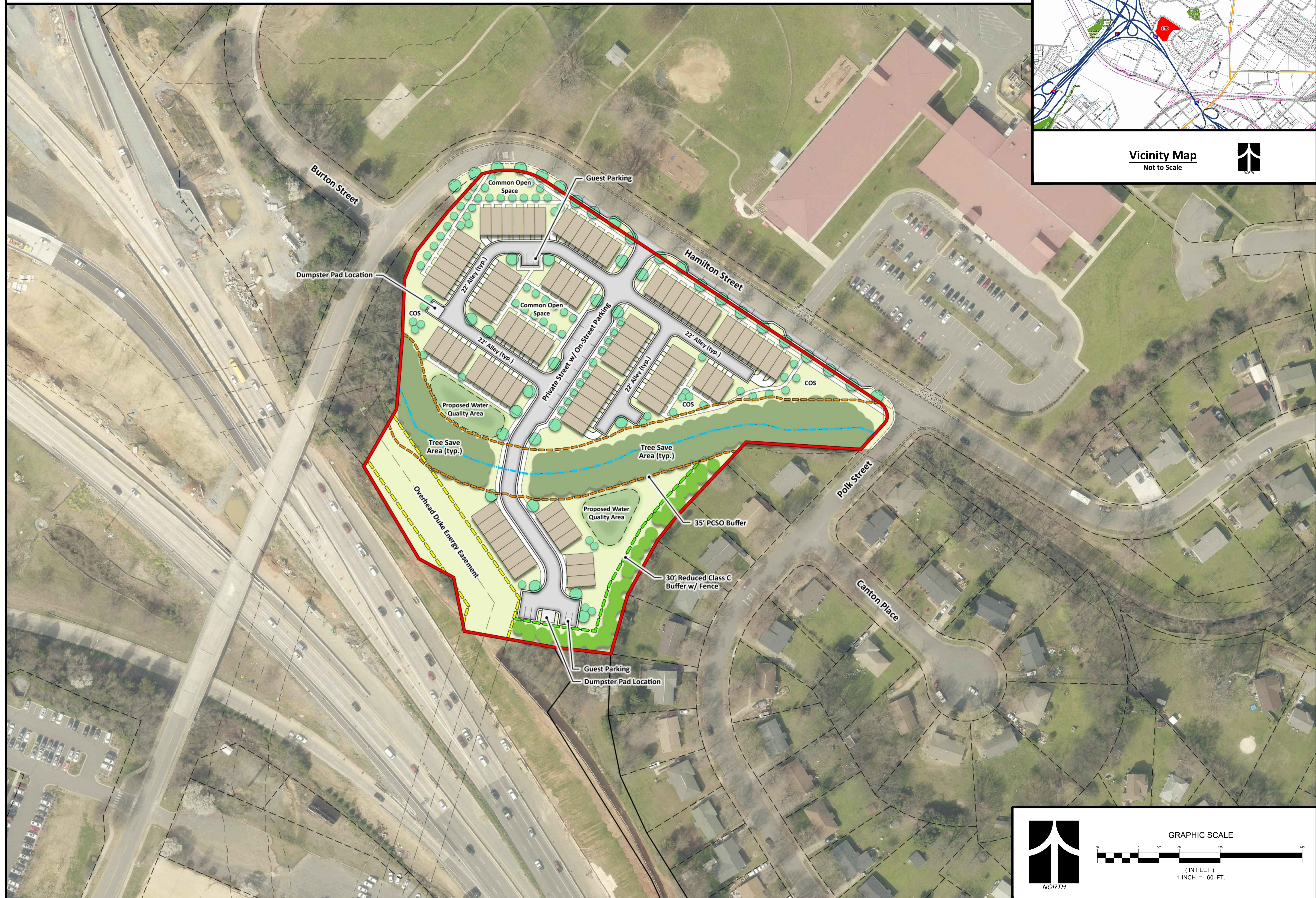
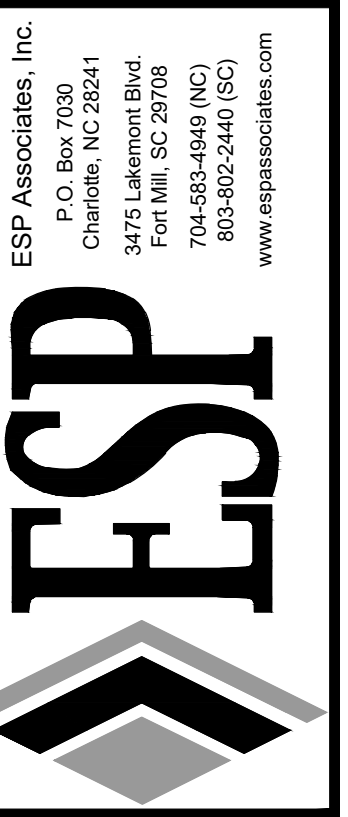
TRI-POINTE HOMES

THE CUE

Conceptual Master Plan



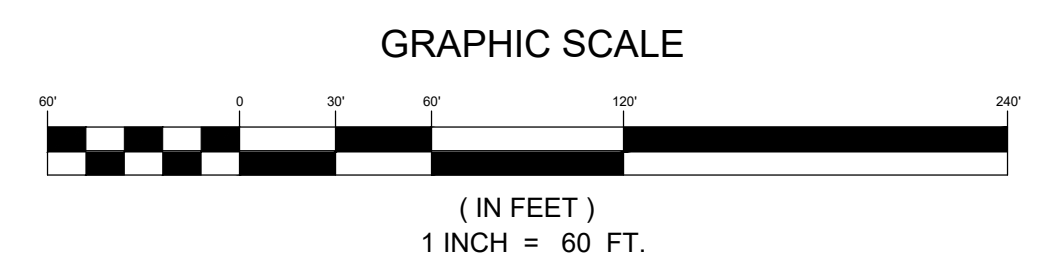
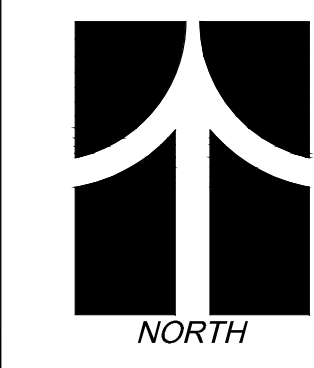
Vicinity Map
Not to Scale



NO.	DATE	REVISION	BY

CONCEPTUAL MASTER PLAN
REZONING PETITION # 2020-XXX
THE CUE
TRI POINTE HOMES
CITY OF CHARLOTTE

PROJECT INFORMATION	
PROJECT MANAGER:	MM
DESIGNED BY:	AB
DRAWN BY:	AB
PROJECT NUMBER:	HV12.101
ORIGINAL DATE:	03/31/2020
SHEET:	4 OF 4



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