

PROPOSED ROYAL COURT CROSS SECTION (TYPICAL)

SCALE: 1/2" = 1'-00"

SITE DEVELOPMENT DATA:

--ACREAGE: ± 1.474 ACRES

--TAX PARCEL #: 125-174-02, 125-174-08

--EXISTING ZONING: B-1 PED

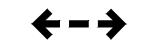
--PROPOSED ZONING: MUDD-O

--EXISTING USES: OFFICE

--PROPOSED USES: UP TO THREE HUNDRED FIFTY (350) MULTI-FAMILY RESIDENTIAL DWELLINGS UNITS AS PERMITTED BY RIGHT AND UNDER PRESCRIBED CONDITIONS TOGETHER WITH ACCESSORY USES AND AMENITIES, AS ALLOWED IN THE MUDD ZONING DISTRICT. I (ALL OF THE ABOVE AS MORE SPECIFICALLY DESCRIBED BELOW IN SECTION 3)
--MAXIMUM BUILDING HEIGHT: UP TO ONE HUNDRED SEVENTY (170) FEET. BUILDING HEIGHT TO BE MEASURED PER THE ORDINANCE
--PARKING: AS REQUIRED BY THE ORDINANCE.

LEGEND:

PROPOSED INGRESS /



SITE DEVELOPMENT SUMMARY:

I) TAX PARCEL ID #:

- PARCELS 125-174-02, 125-174-08

2) JURISDICTION: CITY OF CHARLOTTE

3) TOTAL SITE SF (ACREAGE): - +/- 64,207 (1.474 AC)

4) EXISTING ZONING & USES: - OFFICE - B-1

5) PROPOSED ZONING : - MIXED USE DEVELOPMENT DISTRICT "MUDD"

) PROPOSED USES:

- MULTI-FAMILY RESIDENTIAL DEVELOPMENT

7) PROPOSED SETBACKS:
-24' SETBACK ON MOREHEAD STREET
14' SETBACKS ON ROYAL COURT & EUCLID AVENUE

8) BUILDING HEIGHT: -170' MAX.

PROPOSED ROYAL COURT ON STREET PARKING

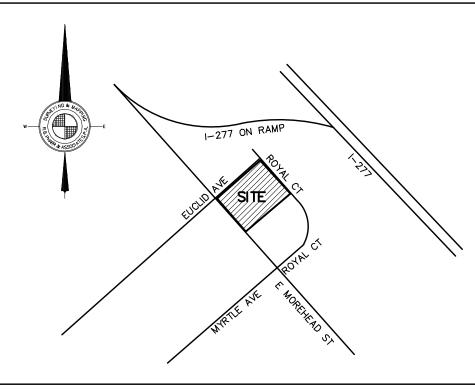
 $\underbrace{2}_{\text{SCALE: } \mathcal{H}_2^{\text{"}}} \underbrace{\text{CROSS SECTION (TYPICAL)}}_{\text{SCALE: } \mathcal{H}_2^{\text{"}}}$

9) URBAN OPEN SPACE: AS REQUIRED BY THE ORDINANCE

II) PARKING PROVIDED: I.25 SPACES PER DWELLING UNIT MINIMUM

12) BIKE RACKS WILL BE PROVIDED PER THE ORDINANCE

NOTE: THE REZONING PLAN IS ILLUSTRATIVE IN NATURE AND IS INTENDED TO DEPICT BUILDING AND CIRCULATION RELATIONSHIPS.



VICINITY MAP

NOT TO SCALE

REZONING PETITION # 2020-

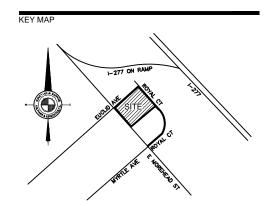
LandDesign.

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Ziegler Cooper Architects Bank of America Center Suite 350 700 Louisiana Street Houston, Texas 77002

vc 713|374|0000 fx 713|374|0001



711 EAST MOREHEAD

REZONING - SITE PLAN

HANOVER R.S. LIMITED PARTNERSHIP

> 1780 S POST OAK LN HOUSTON, TEXAS 77056

LANDDESIGN PROJ.# 1020025

REVISION / ISSUANCE			
NO.	DESCRIPTION	DATE	
DRAW	NED BY: N BY: KED BY:	ı	

VERT: HORZ: 1"=30' 0 15' 30' 60'

TECHNICAL DATA SHEET

ORIGINAL SHEET SIZE: 24" X 36"

Hanover R.S. Limited Partnership Development Standards 3/13/2020

Site Development Data

--Acreage: ± 1.474

-- Existing Use: Office

--Tax Parcel Nos: 125-174-02 and 125-174-08

--Existing Zoning: B-1 PED and MUDD

--Proposed Zoning: MUDD-O

--Proposed Use: Up to 350 multi-family dwelling units together with accessory uses, as allowed in the MUDD zoning district.

--Maximum Building Height: 170 feet as measured under the Ordinance.

1. General Provisions

- a. **Site Location**. These Development Standards form a part of the Rezoning Plan associated with the Rezoning Petition filed by Hanover R.S. Limited Partnership ("Petitioner") to accommodate the development of a residential community on approximately 1.474 acre site generally located on the southeast corner of the intersection of East Morehead Street and Euclid Avenue, which site is more particularly depicted on the Rezoning Plan (the "Site"). The Site is comprised of Tax Parcel Nos. 125-174-02 and 125-174-08.
- b. **Zoning Districts/Ordinance**. Development and use of the Site will be governed by the Rezoning Plan, these Development Standards and the applicable provisions of the City of Charlotte Zoning Ordinance (the "Ordinance"). Subject to the optional provisions set out below, the regulations established under the Ordinance for the Mixed Use Development District ("MUDD") zoning district shall govern the development and use of the Site.
- c. **Graphics and Alterations**. The schematic depictions of the uses, parking areas, sidewalks, building, driveways, and other development matters and site elements (collectively the "Development/Site Elements") set forth on the Rezoning Plan should be reviewed in conjunction with the provisions of these Development Standards. The layout, locations, sizes and formulations of the Development/Site Elements depicted on the Rezoning Plan are graphic representations of the Development/Site elements proposed. Changes to the Rezoning Plan not anticipated by the Rezoning Plan will be reviewed and approved as allowed by Section 6.207 of the Ordinance.

Since the project has not undergone the design development and construction phases, it is intended that this Rezoning Plan provide for flexibility in allowing some alterations or modifications from the graphic representations of the Development/Site Elements. Therefore, there may be instances where minor modifications will be allowed without requiring the Administrative Amendment Process per Section 6.207 of the Ordinance. These instances would include changes to graphics if they are:

i. minor and don't materially change the overall design intent depicted on the Rezoning Plan.

The Planning Director will determine if such minor modifications are allowed per this amended process, and if it is determined that the alteration does not meet the criteria described above, the Petitioner shall then follow the Administrative Amendment Process per Section 6.207 of the Ordinance; in each instance, however, subject to the Petitioner's appeal rights set forth in the Ordinance.

d. **Number of Buildings Principal and Accessory**. The total number of principal residential buildings to be developed on the Site shall not exceed one (1). Accessory buildings and structures located on the Site shall not be considered in any limitation on the number of buildings on the Site. Accessory buildings and structures will be constructed utilizing similar building materials, colors, architectural elements and designs as the principal building located on the Site.

2. Optional Provisions

The optional provision set out below shall apply to the development of the Site.

a. The maximum height of the building to be constructed on the Site shall be 170 feet as measured under the Ordinance.

3. <u>Permitted Uses/Development Limitations</u>

a. The Site may only be devoted to a maximum of 340 multi-family dwelling units together with any incidental and accessory uses relating thereto that are allowed in the MUDD zoning district.

4. Access, and Transportation Improvements

- a. Vehicular access shall be as generally depicted on the Rezoning Plan. The placement and configuration of the access points are subject to any minor modifications required to accommodate final site development and construction plans and to any adjustments required for approval by the Charlotte Department of Transportation ("CDOT") and/or the North Carolina Department of Transportation ("NCDOT") in accordance with applicable published standards.
- b. The alignment of the internal vehicular circulation areas and the driveways may be modified by Petitioner to accommodate changes in traffic patterns, parking layouts and any adjustments required for approval by CDOT and/or NCDOT in accordance with applicable published standards.

5. <u>Architectural Standards</u>

- a. The maximum height of the building to be constructed on the Site shall be 170 feet.
- b. Building Placement and Site Design shall focus on and enhance the pedestrian environment on public or private network required streets, through the following:
- (1) The building shall be placed so as to present a front or side façade to all streets.
- (2) Facades fronting streets shall include a combination of windows and operable doors for a minimum of 60% of each frontage elevation with transparent glass between 2 feet and 10 feet on the first floor. Up to 20% of this requirement may be comprised of display windows. These display windows must maintain a minimum of 3 feet clear depth between the window and rear wall. Windows within this zone shall not be screened by film, decals, and other opaque material, glazing finishes or window treatments. The maximum sill height for required transparency shall not exceed 4 feet above adjacent street sidewalk.

- (3) The facades of first/ground floor of the building along streets shall incorporate a minimum of 30% masonry materials such as brick or stone.
- (4) Direct pedestrian connections shall be provided between street facing doors and corner entrance features to sidewalks on adjacent streets.
- (5) Building elevations shall not have expanses of blank walls greater than 20 feet in all directions and architectural features such as but not limited to banding, medallions or design features or materials will be provided to avoid a sterile, unarticulated blank treatment or such walls.
- (6) Building elevations shall be designed with vertical bays or articulated features which shall include a combination of at least three of the following: a combination of exterior wall offsets (projections and recesses), columns, pilasters, change in materials or colors, awnings, arcades, or other architectural elements.
- (7) The building shall be a minimum height of 22 feet.
- 8) The building shall have a minimum of 20% transparency on all upper stories.

6. Streetscape

a. Streetscape improvements shall be provided as depicted on the Rezoning Plan.

7. Amendments to the Rezoning Plan

a. Future amendments to the Rezoning Plan (which includes these Development Standards) may be applied for by the then Owner or Owners of the Site in accordance with the provisions of Chapter 6 of the Ordinance.

8. <u>Binding Effect of the Rezoning Application</u>

a. If this Rezoning Petition is approved, all conditions applicable to the development of the Site imposed under the Rezoning Plan will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of the Petitioner and subsequent owners of the Site and their respective heirs, devisees, personal representatives, successors in interest or assigns.

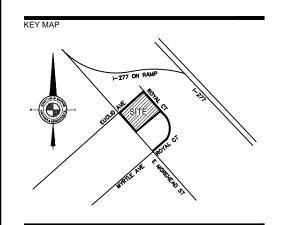


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PROJECT

711 EAST MOREHEAD

REZONING - SITE PLAN

HANOVER R.S. LIMITED PARTNERSHIP 1780 S POST OAK LN

HOUSTON, TEXAS 77056

LANDDESIGN PROJ.#

REVISION / ISSUANCE			
NO.	DESCRIPTION	DATE	
DESIG	GNED BY:		
DRAV	VN BY:		
CHEC	KED BY:		
SCALE		NORTH	

ERT: DRZ: 1"=30'

DEVELOPMENT STANDARDS

MBER

RZ-2

REZONING PETITION # 2020-

PROPERTY LINE (NOT SURVEYED) POWER LINE (UNDERGROUND)

WATER & SEWER CHAR.-MECK. UTILITY DEPT. (CMUD) (704) 336-2564 WATER (704) 357-6064 SEWER

1-800-752-7504

CABLE TELEVISION TIME WARNER CABLE 1-800-892-2253

2. ALL CORNERS MONUMENTED AS SHOWN.

4. THE LOCATION OF UNDERGROUND UTILITIES SHOWN ON THIS MAP IS APPROXIMATE, BASED ON INFORMATION PROVIDED BY OTHERS OR BY FIELD LOCATION. UTILITY LOCATIONS AS SHOWN HEREON ARE INTENDED FOR PLANNING

5. BROKEN LINES INDICATE PROPERTY LINES NOT SURVEYED.

6. EAST MOREHEAD STREET IS SHOWN AS A "MAJOR THOROUGHFARE" ON THE MECKLENBURG-UNION METROPOLITAN PLANNING ORGANIZATION THOROUGHFARE PLAN OF 2004 AND MEETS OR EXCEEDS THE FUTURE RIGHT-OF-WAY OF 40' FROM

7. THE OFF-SITE RIGHT-OF-WAY SHOWN HEREON IS FOR ILLUSTRATIVE PURPOSES ONLY. THE UNDERSIGNED CERTIFIES ONLY TO THE RIGHT-OF-WAYS SURVEYED, AND DOES NOT CERTIFY TO THE RIGHT OF WAY WIDTH OF ANY ADJACENT PROPERTIES.

8. ELEVATIONS BASED ON NGS MONUMENT "MCDOWELL" ELEV. = 681.79' (NAVD88)

ECM - EXISTING CONCRETE MONUMENT

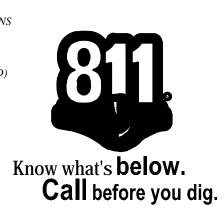
HVAC - HEATING, VENTILATION, AIR COND.

RCP - REINFORCED CONCRETE PIPE

RIGHT-OF-WAY (NOT SURVEYED) -----_____ ________CAS ______CAS ______CAS ______CAS _____ OUH OUH OUH OUH ——UE——UE——UE—— — 22 — 22 — 22 — TELEPHONE LINE (UNDERGROUND) ——ur——ur——ur——

BELL SOUTH TELECOMMUNICATIONS

PIEDMONT NATURAL GAS CO.



ZONING:

ZONING RESTRICTIONS AS PER ZONING ORDINANCE: SUBJECT PROPERTY ZONED: B-1

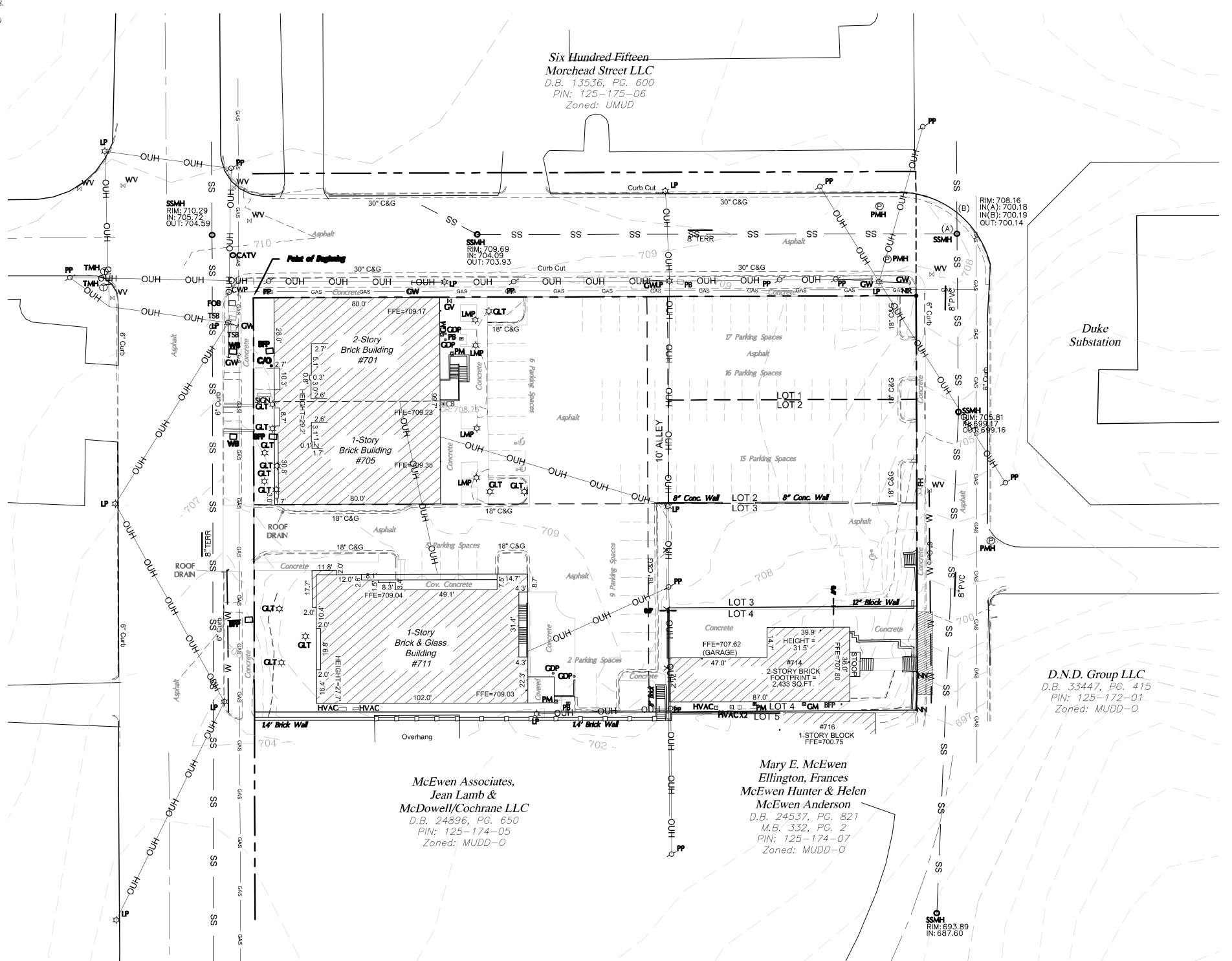
MINIMUM SETBACK: MINIMUM SIDE YARD: MINIMUM REAR YARD:

FOR FURTHER INFORMATION CONTACT THE CHARLOTTE-MECKLENBURG ZONING DEPARTMENT

PARKING:

MAX. BUILDING HEIGHT:

REGULAR PARKING SPACES HANDICAPPED PARKING SPACES - 3 TOTAL PARKING SPACES



FLOOD CERTIFICATION THIS IS TO CERTIFY THAT THE SUBJECT PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON MAPS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, DATED SEPTEMBER 2, 2015

MAP NUMBER: 3710454300L; ZONE X

ANGLES TURNED.

THIS IS TO CERTIFY THAT ON THE **26TH** DAY OF **OCTOBER** 20 **15** AN ACTUAL SURVEY WAS MADE UNDER MY SUPERVISION OF THE PROPERTY SHOWN ON THIS PLAT, AND THAT THE BOUNDARY LINES AND THE IMPROVEMENTS, IF ANY, ARE AS SHOWN HEREON, THIS PLAT MEETS THE MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA ROARD RULE 1600 (21 NCAC 56) AND THE RATIO OF PRECISION DOES NOT EXCEED AN ERROR OF CLOSURE OF ONE (1) FOOT PER 10,000 FEET OF PERIMETER SURVEYED NOR 20 SECONDS TIMES THE SQUARE ROOT OF THE NUMBER OF

SIGNED

SURVEYOR'S DESCRIPTION:

That certain tract or parcel of land situated, lying and being in the City of Charlotte, County of

BEGINNING at an existing iron pipe at the southeast intersection of East Morehead Street (80 foot Public R/W) and Euclid Avenue (60 foot Public R/W); Thence with and along the southeast right-of-way margin of said Euclid Avenue N 56°01'00" E a distance of 320.02 feet to a new iron road marking the intersection of said Euclid Avenue and Royal Court (Variable width Public R/W); Thence with and along the southwest right-of-way margin of said Royal Court S 33°57'33" E (passing an existing iron pipe at 100.06 feet) a distance of 149.91 feet to an existing iron pipe, said point being the northeast corner of the property of Jax LLC (now or formerly) as described in Deed Book 25747, Page 395 in the Mecklenburg County Public Registry (the "Registry"); Thence with and along the boundary of said property of Jax LLC for the following two (2) courses and distances: (1) S 55°47'24" W a distance of 120.02 feet to an existing iron rod; (2) S 34°02'06" E a distance of 50.22 feet to an existing iron rod, said point being a common corner of aforesaid property of Jax LLC and the property of McEwen Associates, Jean Lamb, and McDowell/Cochrane LLC (now or formerly) as described in Deed Book 24896, Page 650 in the Registry; Thence with and along the northwest boundary of said property of McEwen Associates, Jean Lamb, and McDowell/Cochrane LLC S 56°10'03" W a distance of 200.09 feet to an existing iron pipe on the northeast right-of-way margin of aforesaid East Morehead Street (80 foot Public R/W); Thence with and along said northeast right-of-way margin of East Morehead Street N 33°57'09" W (passing an existing iron pipe at 100.12 feet) a distance of 200.08 feet to the point of BEGINNING;

having an area of 58,093 square feet or 1.3336 acres, as shown on a survey prepared by R. B. Pharr & Associates, p.a. dated March 16, 2015 (map file XX-4088).

Mecklenburg, State of North Carolina and being more particularly described as follows:

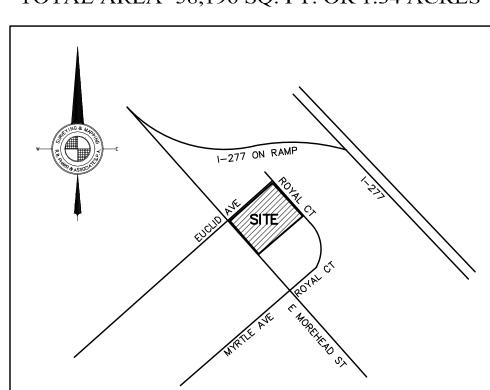
ALTA/ACSM CERTIFICATION:

TO: L.C. STEPHENS & COMPANY; CHICAGO TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6, 7(a), 7(b)(1), 7(c), 8, 9, 10, 11(a), AND 13 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON

C. CLARK NEILSON PROFESSIONAL LAND SURVEYOR 3/26/15

TOTAL AREA=58,196 SQ. FT. OR 1.34 ACRES



VICINITY MAP

NOT TO SCALE REVISIONS FOR: 701, 705, 711 EAST MOREHEAD STREET 710 & 714 ROYAL COURT ITY OF CHARLOTTE, MECKLENBURG COUNTY, NORTH CAROLINA DEED REFERENCE: 8433-499; 4518-303; 3737-60 MAP REFERENCE: BOOK 332, PAGE 2 TAX PARCEL #: 125-174-02 & 08 R.B. PHARR & ASSOCIATES, P.A. SURVEYING & MAPPING LICENSURE NO: C-1471
420 HAWTHORNE LANE CHARLOTTE, N.C. 28204 TEL. (704) 376-2186 XX-4088A OCT 29, 2015 1" = 30'

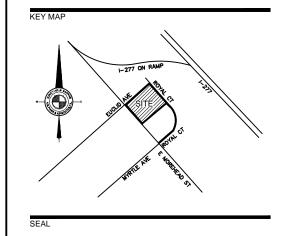
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711 EAST MOREHEAD

REZONING - SITE PLAN

HANOVER R.S. LIMITED **PARTNERSHIP** 1780 S POST OAK LN

HOUSTON, TEXAS 77056

REVISION / ISSUANCE DESCRIPTION DESIGNED BY: DRAWN BY:

CHECKED BY: HORZ: 1"=30'

EXISTING CONDITIONS

ORIGINAL SHEET SIZE: 24" X 36"

RZ-3