

### DEVELOPMENT SUMMARY

REZONING SITE AREA:	2.43 ACRES
TAX PARCEL ID:	127-037-02, 127-037-03, 127-037-04, 127-037-05, 127-037-06, 127-037-07
EXISTING ZONING:	O-2 & R-43MF
PROPOSED ZONING:	MUDD-O
EXISTING USES:	OFFICE / RESIDENTIAL
PROPOSED USES:	GENERAL OFFICE, MEDICAL OFFICE, CELL TOWER AND RESIDENTIAL DWELLING UNITS. SEE SITE DEVELOPMENT DATA RZ0-3
PROPOSED SF / UNITS:	UP TO 120,000 SF & 10 SINGLE-FAMILY ATTACHED. SEE SITE DEVELOPMENT DATA RZ0-3.
PARKING:	NON-RESIDENTIAL: 5 SP / 1000 SF. RESIDENTIAL: PER ORDINANCE. SEE SITE DEVELOPMENT DATA RZ0-3.
BUILDING HEIGHT:	NON-RESIDENTIAL: 85' MAX. RESIDENTIAL: 45' MAX. SEE SITE DEVELOPMENT DATA RZ0-3

1919 SOUTH BOULEVARD  
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NC License #P-1370  
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OWNER:

4500 CAMERON VALLEY PKWY.  
SUITE 400  
CHARLOTTE, NC 28211

ARCHITECT:

1435 W. MOREHEAD ST.  
SUITE 160  
CHARLOTTE, NC 28208

PROJECT:

**KINGS COLLEGE  
REZONING**

PETITION 2020-083

SHEET:

## TECHNICAL DATA PLAN

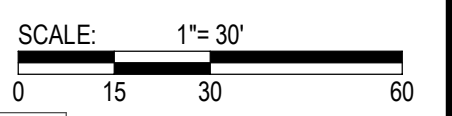
REV.	DATE	DESCRIPTION
D	12.15.20	Revised per RZ 3rd review comments
C	11.29.20	Revised per Owner review comments
B	10.12.20	Revised per RZ 2nd review comments
A	09.14.20	Revised per RZ 1st review comments

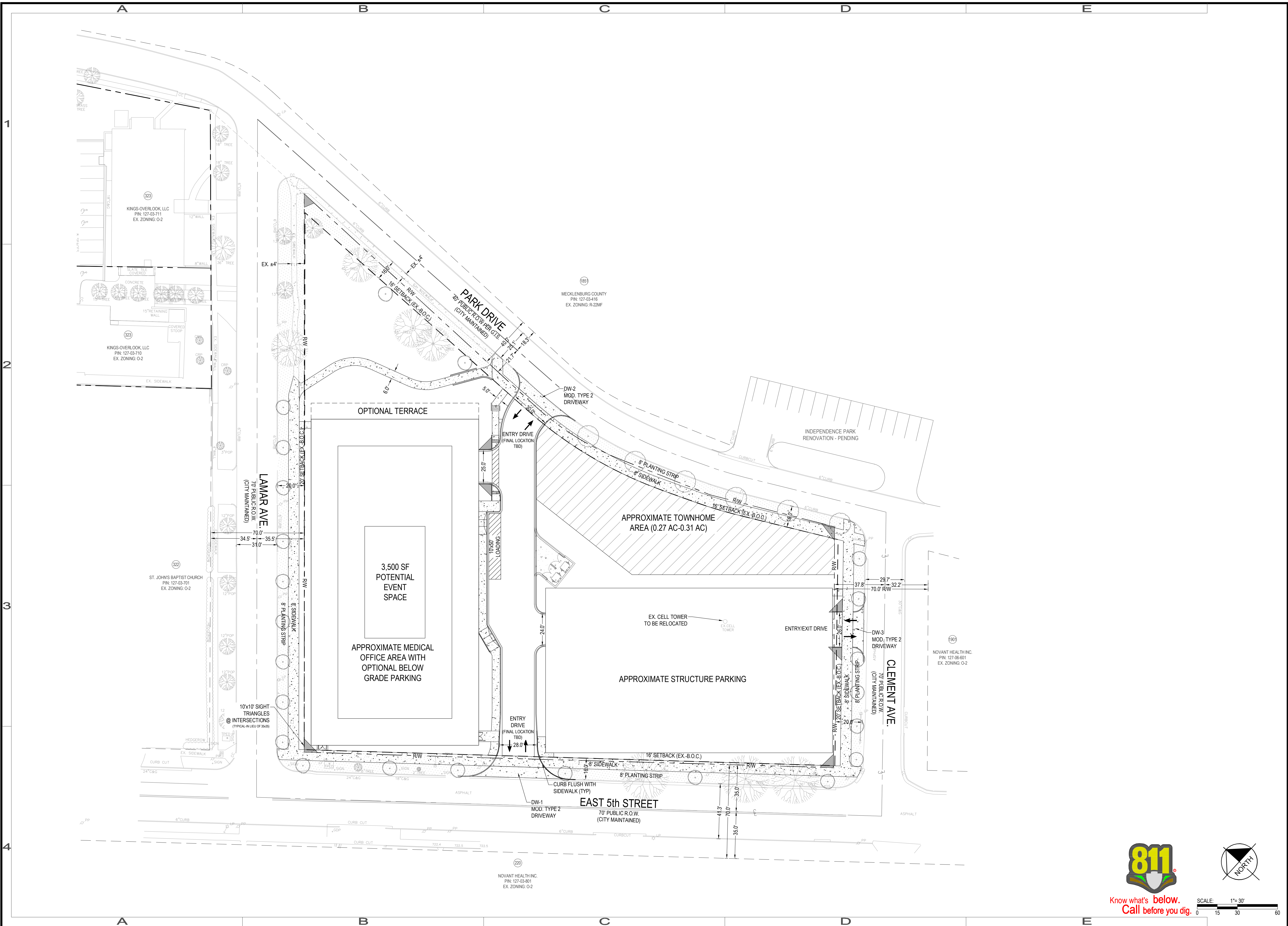
DESIGNED:	JDB
DRAWN:	
CHECKED:	
PROJECT:	1054001
DATE:	05.01.20

# RZ-01



Know what's below.  
Call before you dig.





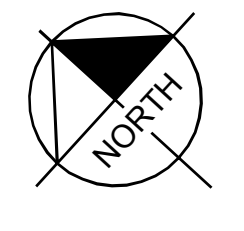
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DESIGNED: JDB  
 DRAWN:  
 CHECKED:  
 PROJECT: 1054001  
 DATE: 05.01.20



Know what's below.  
 Call before you dig.

SCALE: 1"=30'  
 0 15 30 60



The Keith Corporation  
Development Standards  
12/15/2020  
Rezoning Petition No. 2020-083

Site Development Data:

- Acreage: ± 2.397 acres
--Tax Parcel #: 127-037-02, 127-037-03, 127-037-04, 127-037-05, and 127-037-06
--Existing Zoning: O-2 and R-43MF
--Proposed Zoning: MUDD-O
--Existing Uses: Office/Residential cell tower
--Proposed Uses: General office, medical office, cell tower, and residential dwelling units
--Maximum Gross Square Feet of Development: Up to 120,000 square feet of gross floor area
--Maximum Number of Residential Dwelling Units: Up to ten (10) single-family attached
--Maximum Building Height: Non-residential uses will be limited to a maximum building height
--Parking: Parking for office uses shall be provided at a rate of 5 parking spaces per 1,000 square

1. General Provisions:

- a. Site Location. These Development Standards form a part of the Technical Data Sheet
b. Zoning District Ordinance. Development of the Site will be governed by the Rezoning Plan
c. Graphics and Alterations. The schematic depictions of the uses, parking areas, sidewalks
d. Number of Buildings Principal and Accessory. Notwithstanding the number of buildings
e. Gross Floor Area. When determining the maximum development levels set forth in this
f. Principal Building. The term "Principal Building" shall refer to the office building to be
g. Event/Gathering/Activity. The terms "Event/Gathering/uses" and/or "Event/Gathering"

2. Optional Provisions:

- a. To not require doorways to be recessed into the face of the building(s).
b. To allow the use of opaque and spandrel glass per Section 5 below.
c. To allow 10x10 site triangles as permitted by Section 12.109 of the Ordinance.
d. To not require the cell tower located on the parking structure in Development Area B to be

3. Permitted Uses & Development Limitations:

- The Site may be developed as follows:
a. Development Area A may be developed with up to 120,000 square feet of gross floor area
b. Development Area B may be developed with structure parking (accessory to the principal
c. Development Area C shall be preserved as a minimum of three thousand (3,000) square

4. Transportation and Access:

- a. Access to the Site shall be provided as generally depicted on the Rezoning Plan.
b. The alignment of vehicular circulation areas and driveways may be modified by Petitioner
c. The Petitioner will provide a permanent sidewalk easement for any of the proposed primary
d. All transportation improvements that are the responsibility of the Petitioner, shall be
e. Parking for office uses shall be provided at a rate of 5 parking spaces per 1,000 square feet
f. The Petitioner shall install a pedestrian crosswalk at Greenway and Caswell as generally
g. The Petitioner shall modify the traffic signal at 5th Street and Caswell as set forth in the

5. Architectural Standards:

- a. Building Height: The maximum building height shall be eighty-five (85) feet as measured
b. Conceptual Renderings. The elevations provided on Sheet RZ-04 are conceptual,
c. Office Building Architectural Standards. The following provisions shall apply to the
1) The primary building material shall be a combination of architectural masonry,
2) A minimum of 30% of glazing provided on the ground floor along Lamar and 50%
3) Glass utilized on upper stories will have a reflectivity level to balance low
4) Building materials shall be utilized to architecturally differentiate the ground floor
5) The use of exposed non-architectural CMU masonry on the exterior of the principal
6) Vinyl shall not be a permitted exterior cladding material on the building.
7) The exterior building materials for all retaining walls installed on the Site shall be
8) Unless otherwise noted on Sheet RZ-04 and/or Sheet RZ-05, fiber cement
9) All roof mounted mechanical equipment will be screened from view from adjoining
10) Building Placement and Site Design shall focus on and enhance the pedestrian
• Buildings shall be placed so as to present a front or side facade to all streets.
• The facades of first/ground floor of the buildings along streets shall incorporate a
• Direct pedestrian connection should be provided between street facing doors,
• Building elevations shall not have expanses of blank walls greater than 20 feet in
• Building elevations shall be designed with vertical bays or articulated architectural
• Multi-story buildings should have a minimum of 20% transparency on all upper

d. Structured Parking Architectural Standards. The exterior vertical walls of the structured parking facility that are visible from public rights of way or adjacent parcels of land shall be clad in architectural masonry and architectural masonry clad precast concrete with masonry accents and/or include public art or screening as generally depicted on the relevant conceptual, architectural renderings and brick clad precast with masonry accents and/or include public art or screening as generally depicted on the relevant conceptual, architectural renderings. Parking dark screening shall comply with the Ordinance. The structured parking design shall also adhere to the following subject to minor deviations/variations permitted to address site and development constraints/conditions:

- 1) On portions of a facade abutting any frontage, where active uses, ingress/egress points, and/or mechanical equipment are not present, pedestrian-scale interest and activity shall be created through the inclusion of at least three architectural elements, such as awnings, overhangs, decorative screens, grills, louvers, or other similar features.
2) Facade openings that face any frontage shall be vertically and horizontally aligned, and all floors fronting on those facades shall be level, not inclined.
3) Parking structures shall be designed so that vehicles parked on all levels of the structure and associated lighting are screened by a wall or panel measuring a minimum of 48 inches in height. Screening shall include both vertical and horizontal treatment that resembles patterns and architecture of the occupied portions of the building, including use of similar materials and a similar rhythm of window openings on frontages. The remaining opening shall be screened using decorative elements such as grillwork, louvers, or a similar treatment. For parking structures with rooftop open-air parking, a parapet wall of sufficient height to ensure vehicles are not visible from the nearest sidewalk is required. Any such parapet wall shall be a minimum of four feet in height.
e. Residential Architectural Standards. The following provisions shall apply to the residential building(s) to be constructed on the site subject to minor deviations/variations permitted to address site and development constraints/conditions:
1) Townhome style units shall have private garages.
2) Townhomes shall adhere to the following standards.
• Units will be constructed of materials consistent with those required for the primary office building structure, however, may utilize fiber cement products. Fiber cement may only account for a maximum of 25% of the exterior building materials.
• Units will be a maximum of sixty-five (65) feet with sloped roofs. For accommodating architectural detail elements, some small areas of flat roof are acceptable.
• To provide privacy, all residential entrances within 15 feet of the sidewalk must be raised from the average sidewalk grade a minimum of 24 inches.
3) Pitched roofs, if provided, shall be no less than 6:12, except that roofs for porches and attached sheds may be no less than 2:12, unless a flat roof architectural style is employed.
4) Usable porches and stoops shall form a predominant feature of the building design and be located on the front and/or side of the building. Usable front porches, when provided, should be covered and be at least 6 feet deep. Stoops and entry-level porches may be covered but should not be enclosed.
5) All corner/end units that face a public or private street should have a porch or stoop that wraps a portion of the front and side of the unit or provide blank wall provisions that limit the maximum blank wall expanse to 10 feet on all building levels.
6) Walkways should be provided to connect all residential entrances to sidewalks along public and private streets.

f. Loading and Trash. All loading and trash related aspects shall occur interior to the Site as generally depicted on Sheet RZ-02 or within the structured parking deck. The final location of the loading and trash related aspects shall be determined during land development permitting. The trash containers and the recycling containers may only be emptied between the hours of 7 AM and 8 PM Monday through Saturday.

6. Streetscape, Landscaping, Sidewalks:

- a. A sixteen (16) foot setback shall be provided along East 5th Street and Park Drive as measured from the existing/future back of curb as generally depicted on the Rezoning Plan.
b. A twenty (20) foot setback shall be provided along Clement Avenue and Lamar Avenue as measured from the existing/future back of curb as generally depicted on the Rezoning Plan.
c. An eight (8) foot planting strip and eight (8) foot sidewalk shall be provided along East 5th Street and Clement Avenue as generally depicted on the Rezoning Plan.
d. An eight (8) foot planting strip and eight (8) foot sidewalk shall be provided along Park Drive and Lamar Avenue except where the existing sidewalk shall remain to preserve existing trees near the intersection of Park Drive and Lamar Avenue as generally depicted.

7. Lighting:

- a. All freestanding lighting fixtures installed on the Site (excluding street lights, lower, decorative lighting that may be installed along the driveways, sidewalks and parking areas and landscaping lighting and building accent lighting) shall be fully capped and shielded and the illumination so that direct illumination does not extend past any property line of the Site.
b. Any lighting fixtures attached to a building to be constructed on the Site shall be decorative and capped. Architectural up lighting shall be permitted with the exception of any Park Drive building elevations.

8. Amendments to the Rezoning Plan:

- a. Future amendments to the Rezoning Plan (which includes these Development Standards) may be applied for by the then Owner or Owners of the applicable Development Area portion of the Site affected by such amendment in accordance with the provisions of Chapter 6 of the Ordinance.

9. Binding Effect of the Rezoning Application

- a. If this Rezoning Petition is approved, all conditions applicable to the development of the Site imposed under the Rezoning Plan will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of the Petitioner and subsequent owners of the Site and their respective heirs, devisees, personal representatives, successors in interest or assigns.
b. It is acknowledged and confirmed that continued use of the Property as currently used shall be allowed after approval of this rezoning as a legal, nonconforming use in accordance with and subject to Sections 7.101 and 7.102 of the Ordinance (as amplified upon by Zoning Interpretation dated November 10, 2009, without adherence to the terms of the MUDD-O rezoning.

BANKS ENGINEERING, PLLC
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OWNER: THE KEITH CORPORATION
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ARCHITECT: BB+M ARCHITECTURE
1435 W. MOREHEAD ST.
SUITE 160
CHARLOTTE, NC 28208

PROJECT: KINGS COLLEGE REZONING
PETITION 2020-083

SHEET: DEVELOPMENT STANDARDS NOTES

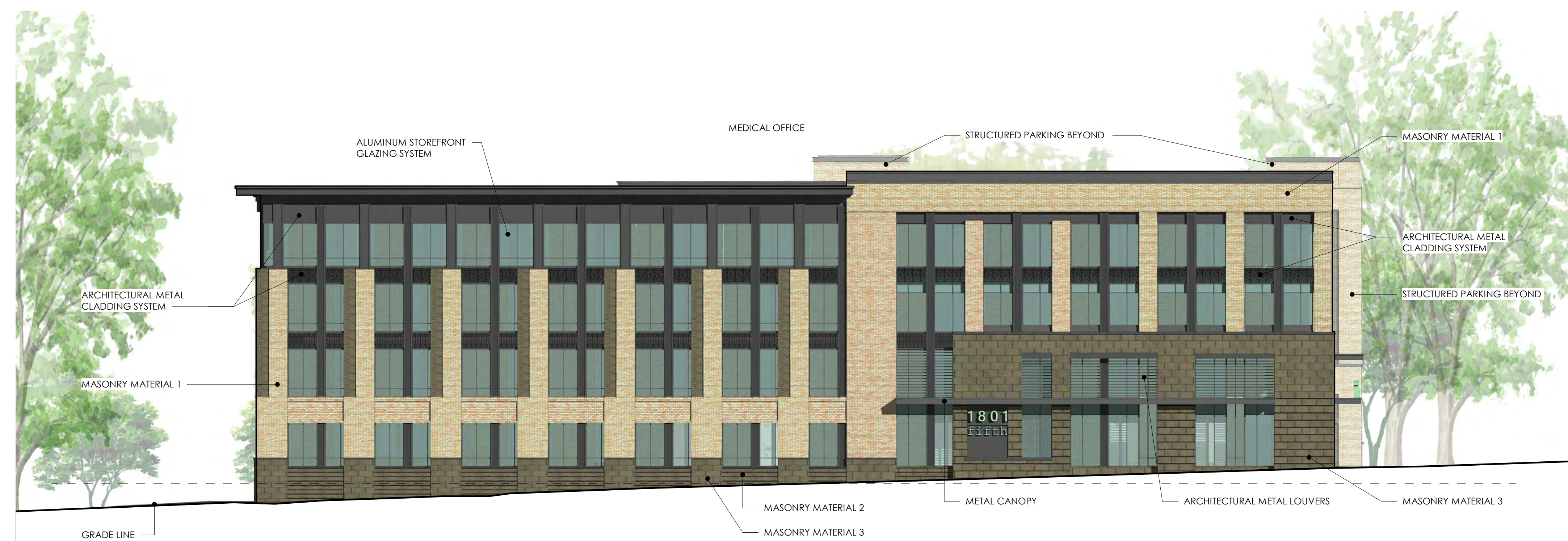
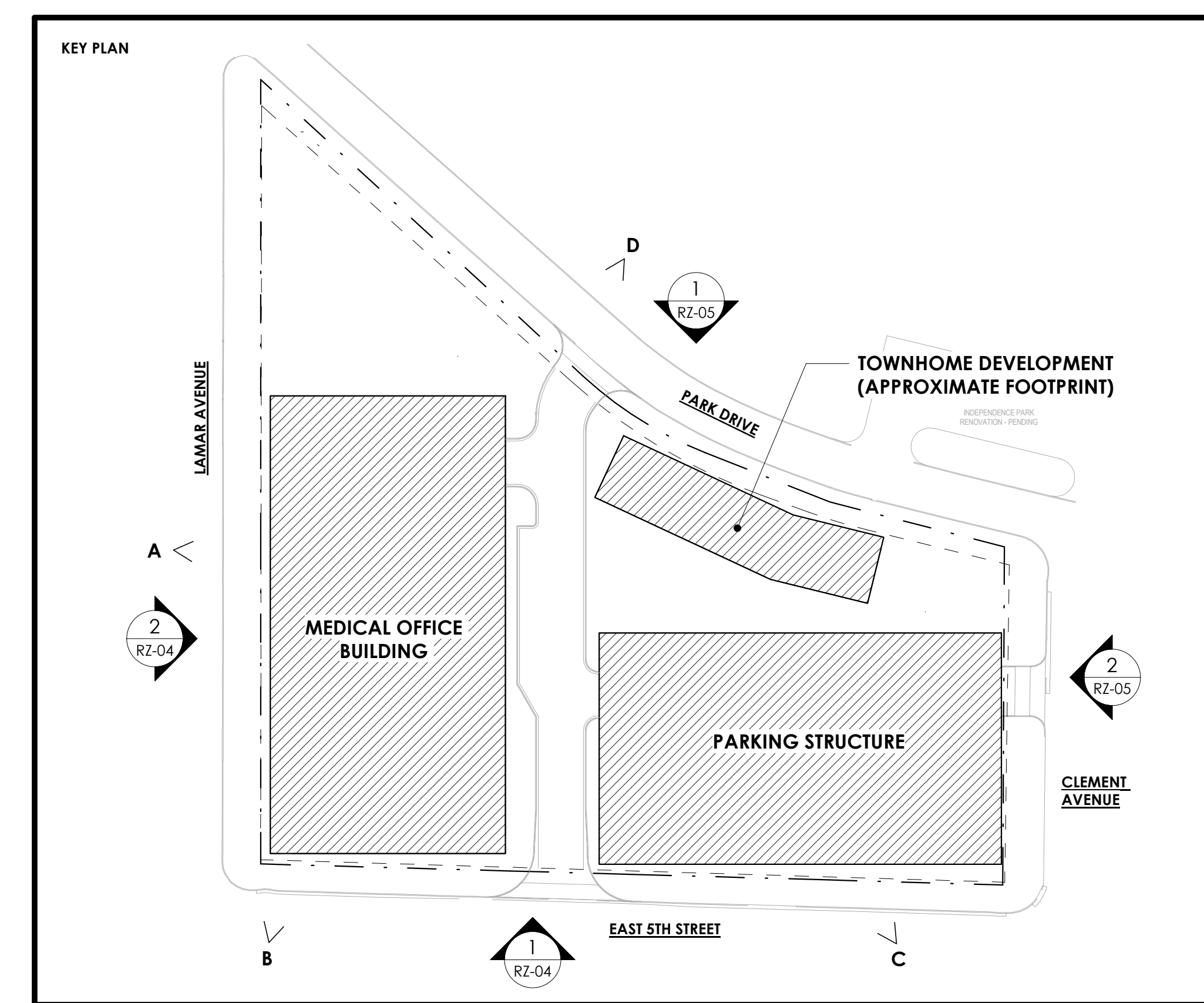
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Table with columns: DESIGNED, DRAWN, CHECKED, PROJECT, DATE. Values: JDB, 1054001, 05.01.20.

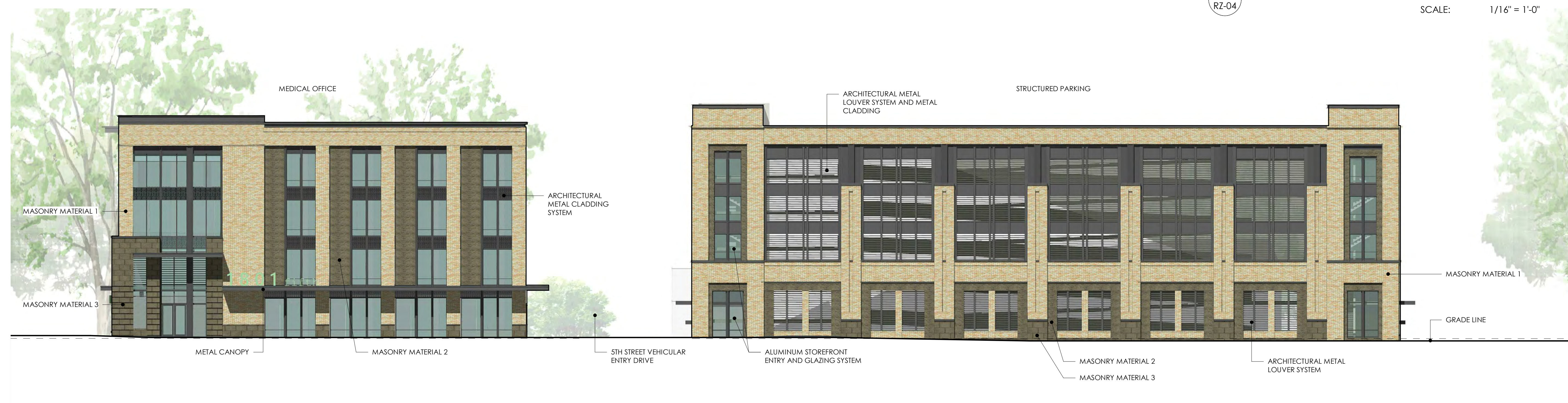
RZ-03



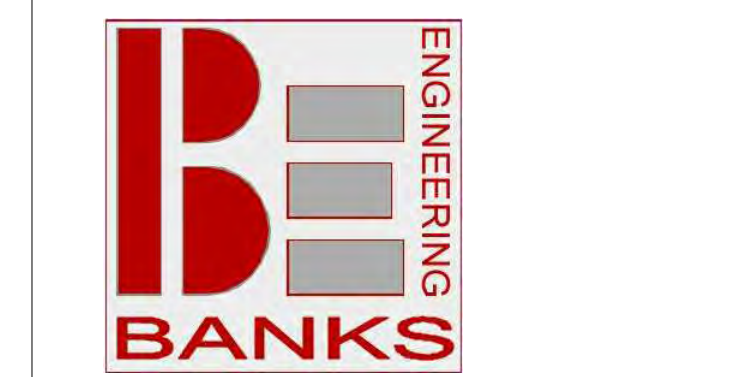
- NOTES:
1. THESE ELEVATIONS ARE CONCEPTUAL IN NATURE ONLY AND ARE INTENDED TO REFLECT THE OVERALL SCALE OF THE BUILDING AND VARIOUS BUILDING EXPRESSIONS. HEIGHT SHALL BE PERMITTED AS SET FORTH IN SECTION 5 OF THESE DEVELOPMENT STANDARDS. THE ACTUAL BUILDINGS TO BE CONSTRUCTED ON THE SITE MAY VARY.
  2. REFER TO SHEETS AND NOTES AS PART OF THIS SET FOR ADDITIONAL INFORMATION



2 RZ-04 LAMAR AVENUE ELEVATION SCALE: 1/16" = 1'-0"



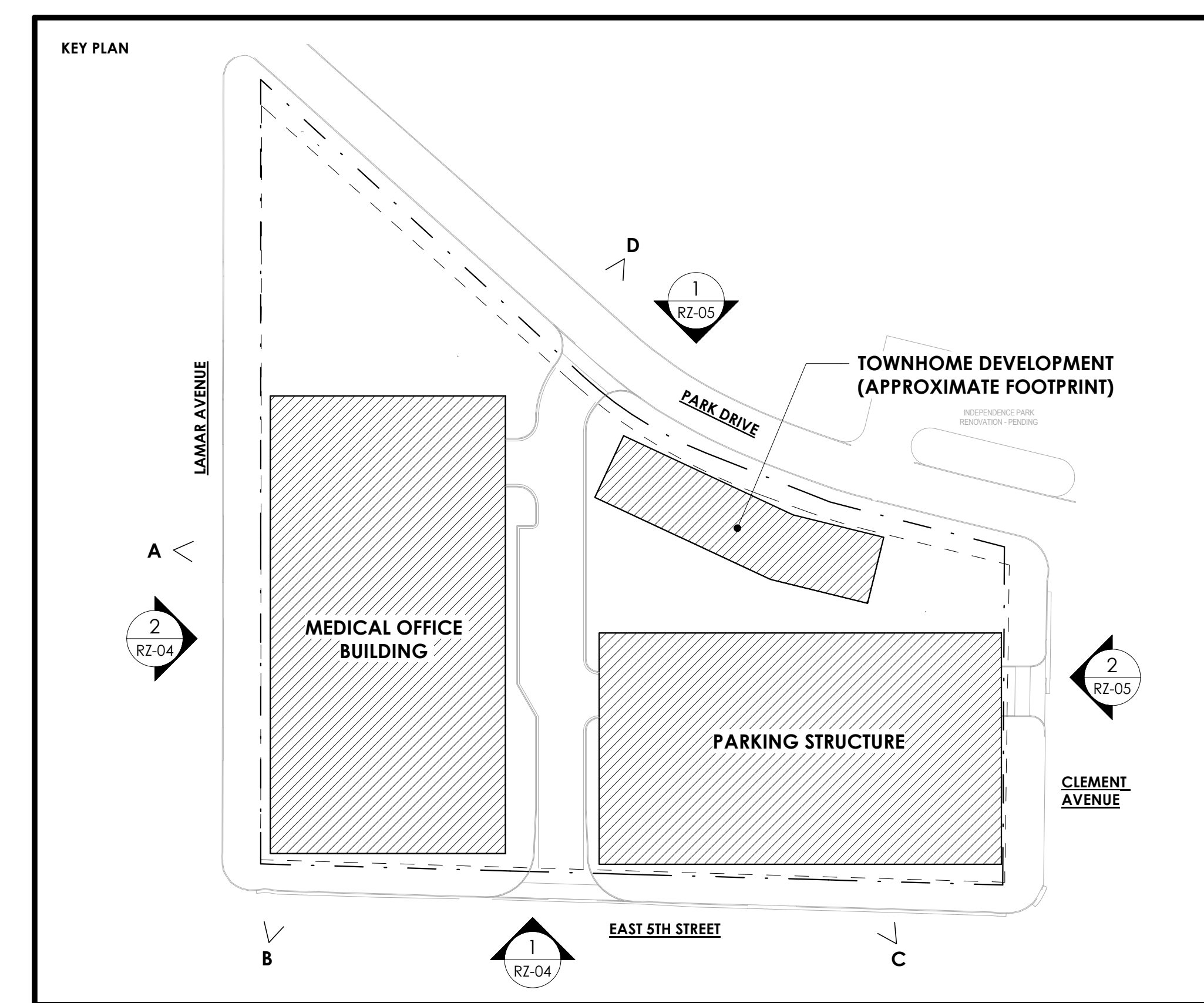
1 RZ-04 5TH STREET ELEVATION SCALE: 1/16" = 1'-0"



Revisions		
No.	Description	Date



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2 RZ-05 CLEMENT AVENUE ELEVATION SCALE: 1/16" = 1'-0"



1 RZ-05 PARK DRIVE ELEVATION SCALE: 1/16" = 1'-0"



KINGS COLLEGE  
REZONING



THE KEITH CORPORATION

LOCATION / CHARLOTTE, NC  
PROJECT # / 20TKC200  
DATE / 12.16.2020  
DRAWN /

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Revisions		
No.	Description	Date

REZONING ELEVATIONS



December 15, 2020 - 5:01pm By: Jay Banks

C:\Users\Jay.Banks\Desktop (Banks Engineering)\BEE PROJECTS\01054 King College\DWG\RZ-07 EXISTING COND.dwg



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 CHARLOTTE, NC 28208

**PROJECT:**  
 KINGS COLLEGE  
 REZONING  
 PETITION 2020-083

**EXISTING  
 CONDITIONS  
 SURVEY**

**SHEET:**

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DESIGNED: JDB  
 DRAWN:  
 CHECKED:  
 PROJECT: 1054001  
 DATE: 05.01.20

**RZ-07**

**811**  
 Know what's below.  
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SCALE: 1"=40'  
 0 20 40 80

**NORTH**