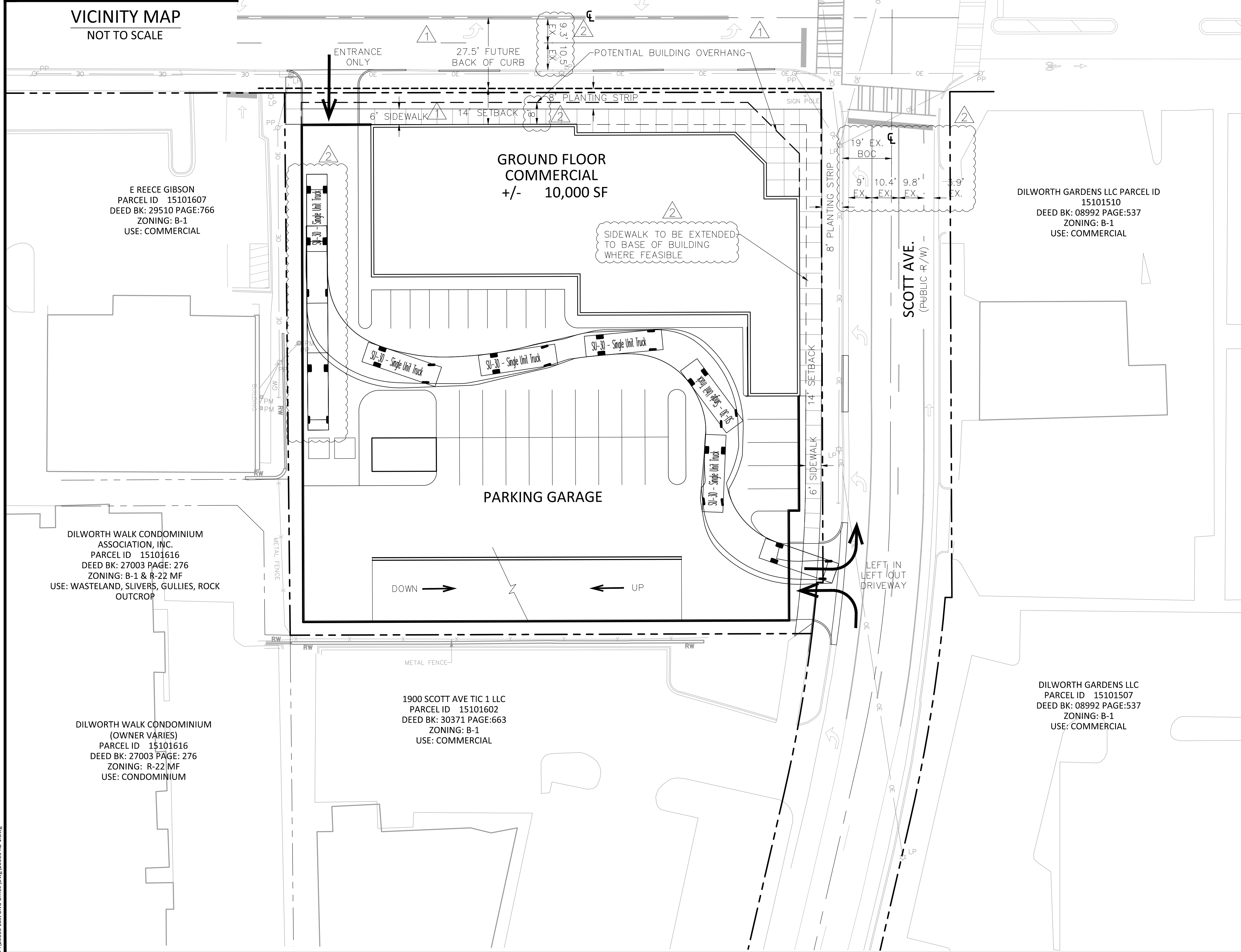


VICINITY MAP
NOT TO SCALE



DEVELOPMENT STANDARDS
Petitioner: Selwyn Property Group, Inc.
Rezoning Petition No. 2020-052
9/14/2020

Site Development Data:

- Acreage: 4.1 acre
- Tax Parcels: 151-016-03, 151-016-04, 151-016-05
- Existing Zoning: NS
- Proposed Zoning: MUDD-O
- Existing Uses: Vacant
- Proposed Uses: Uses permitted by right and under prescribed conditions together with accessory uses, as allowed in the MUDD zoning district not otherwise limited in the Rezoning Plan.
- Maximum Development, subject to conversion rights:
 - a. Either (1) up to 80,000 square feet of office uses; or (2) a maximum of 170 residential units; and
 - b. Up to 10,000 square feet of retail, EDEE or personal service or other non-residential uses.
- Maximum Building Height: 85 feet
- Parking: As required by the Ordinance for the MUDD zoning district.

VI. General Provisions:

- a. **Site Description.** These Development Standards and the Technical Data Sheet form the rezoning plan (hereafter collectively referred to as the "Rezoning Plan") associated with the Rezoning Petition filed by Selwyn Property Group, Inc. ("Petitioner") to accommodate development of a mixed use project on an approximately 1-acre site located at the intersection of East Boulevard and Scott Avenue, more particularly described as Mecklenburg County Tax Parcel Numbers 151-016-03, 151-016-04, 151-016-05 (the "Site").
- b. **Intent.** This Rezoning is intended to accommodate development on the Site of a pedestrian-focused mixture of MUDD-permitted uses including but not limited to office, residential (if conversion rights are utilized), retail and other non-residential uses.
- c. **Zoning Districts/Ordinance.** Unless otherwise requested in the Optional Provisions, below, development of the Site will be governed by the Rezoning Plan as well as the applicable provisions of the City of Charlotte Zoning Ordinance (the "Ordinance").

- d. **Planned/Unified Development.** The Site shall be viewed as a planned/unified development plan as to the elements and portions of the Site generally depicted on the Rezoning Plan. As such, setbacks, side and rear yards, buffers, building height separation standards, and other similar zoning standards will not be required internally between improvements and other site elements located on the Site. Furthermore, the Petitioner and/or owner of the Site reserve the right to subdivide portions or all of the Site and create lots within the interior of the Site without regard to any such internal separation standards, and public-private street frontage requirements, provided, however, that all such separation standards along the exterior boundary of the Site shall be adhered to and treated as the Site as a whole and not individual portions or lots located therein.

Optional Provisions

The Petitioner requests the ability to construct an overhead encroachment into the streetscape area along East Boulevard in order to accommodate a cantilevered building design starting at a minimum of sixteen (16) feet above the sidewalk, as generally labeled on the Rezoning Plan as "Potential Building Overhang." The Potential Building Overhang shall be a maximum of eight (8) feet beyond the base level building footprint. For the sake of clarity, this encroachment area shall not be permitted at the building's base level.

III. Permitted Uses

Subject to the Maximum Development provisions set forth under Section IV below, the Site may be devoted to any uses permitted by right or under prescribed conditions in the MUDD Zoning District, together with any incidental or accessory uses associated therewith.

IV. Maximum Development and Restrictions

- a. Subject to the restrictions, limitations, and conversion rights listed below, the principal buildings constructed may be developed with up to (i) either (a) 80,000 square feet of gross floor area of office uses or (b) a maximum of 170 residential units and (ii) 10,000 square feet of retail, personal service, EDEE, and other non-residential uses permitted by right and under prescribed conditions in the MUDD zoning district, along with any accessory uses allowed in the MUDD zoning district.
- b. **Prohibited Uses:** Car washes (except for residential car wash stations); Automobile Service Stations; EDEEs with accessory drive-through service windows.
- c. **Transportation**
 - a. Vehicular access will be as generally depicted on the Rezoning Plan. The placements and configurations of the vehicular access points shown on the Rezoning Plan are subject to any minor modifications required to accommodate final site and construction plans and designs and to any adjustments required by CDOT for approval.
 - b. The proposed driveway access along the Site's frontage of East Boulevard shall be one-way-in-only, as generally depicted on the Rezoning Plan. Petitioner shall provide streetscape improvements along the Site's frontage of Scott Avenue as depicted on the Rezoning Plan. The sidewalk will be extended to the base of the building along the Scott Avenue frontage where feasible based on architecture. Trees may be located in planters or gates along sidewalk areas or in planting strips.
 - c. With respect to the Site's frontage of East Boulevard, the Rezoning Plan illustrates future conditions after completion of East Boulevard widening proposed by others. As an interim condition, the Petitioner shall work in coordination with Urban Design Planning Staff to develop a landscape plan that includes wider sidewalks and a combination of planting strip and/or tree planters within the limits as illustrated on the Rezoning Plan. Trees may be located in planters or gates along sidewalk areas or in planting strips.
 - d. Where necessary, the Petitioner shall dedicate and convey in fee simple all rights-of-way to the City of Charlotte before the Site's first building certificate of occupancy is issued.
 - e. All transportation improvements shall be substantially completed before the Site's first building certificate of occupancy is issued.

VI. Design Guidelines:

- a. **General Design Guidelines.**
 - 1. The principal buildings constructed on the Site may use a variety of building materials. The building materials used for buildings will be a combination of any of the following: glass, brick, metal, stone, simulated stone, pre-cast stone, architectural precast concrete, synthetic stone, stucco, L.F.S., cementitious siding (such as hardi-plank), or wood/composite wood. Vinyl, as a building material, will only be allowed on windows, soffits and trim features.
 - 2. Building Massing and Height shall be designed to break up long monolithic building forms as follows:
 - a. Base of High Rise Building(s) (those exceeding five (5) stories): The base of building sides (equivalent to the first three (3) floors at street grade) greater than 120 feet in length fronting a public street shall be distinguished from the remainder of the building and include modulations of the building massing/facade plane (such as recesses, projections, and architectural details). Modulations shall be a minimum of five (5) feet wide and shall project or recess a minimum of one (1) foot extending through at least a full floor.
 - b. Building elevations facing public streets shall not have expanses of blank walls greater than 20 feet in all directions and architectural features such as but not limited to banding, medallions or design features or materials will be provided to avoid a sterile, unarticulated blank treatment of such walls.
 - 3. Building Placement and Site Design shall focus on and enhance the pedestrian environment on public or private network required streets, through the following:
 - i. The Site's frontage of Scott Avenue shall, at a minimum, provide at least 60% of the length of the first floor street frontage designed for pedestrian-scale activity per the street walls provision in Section 9.8506(2)(a) of the Ordinance. Of the provided 60% street wall design, a minimum of 50% shall be met through the use of clear glass.
 - ii. The Site's frontage of East Boulevard shall, at a minimum, provide at least 70% of the length of the first floor street frontage designed for pedestrian-scale activity per the street walls provision in Section 9.8506(2)(a) of the Ordinance. Of the provided 70% street wall design, a minimum of 70% shall be met through the use of clear glass.
 - 4. Meter banks shall be located outside of the setback.
 - 5. Rooftop HVAC units will be screened from public right-of-way.
 - 6. All dumpster enclosure areas shall be internal to the building/parking deck or screened from network required public or private streets with materials complimentary to the principal structure.
 - 7. If a rooftop terrace is provided, it shall be permitted only for office or residential uses (no rooftop terraces associated with EDEE uses shall be allowed).
- b. **Parking Deck Standards:**
 - 1. Parking structures shall be designed so that vehicles parked on all levels of the structure and associated lighting are screened by a wall or panel measuring a minimum of 48 inches in height. Screening shall include both vertical and horizontal treatment that resembles patterns and architecture of the occupied portions of the building, including use of similar materials and a similar rhythm of window openings on panels. The remaining opening shall be screened using decorative elements such as grillwork, louvers, green walls, or a similar treatment. For parking structures with rooftop open-air parking, a parapet wall of sufficient height to ensure vehicles are not visible from the nearest sidewalk is required. Any such parapet wall shall be a minimum of four (4) feet in height.
 - 2. However, these parking deck standards are in no way intended to impede the natural ventilation of an open parking deck.

VII. Environmental Features

- a. The Petitioner shall comply with the Post Construction Stormwater Ordinance.
- b. The Petitioner shall comply with the Tree Ordinance.

VIII. Lighting:

- b. All lighting shall be full cut-off type lighting fixtures excluding lower, decorative lighting that may be installed on buildings, along the driveways, sidewalks, and parking areas. However, upward facing accent/architectural lighting shall be permitted.

IX. Amendments to the Rezoning Plan:

Future amendments to the Rezoning Plan may be applied for by the then Owner or Owners of the applicable Lot of the Site affected by such amendment in accordance with the provisions herein and of Section 6.207 of the Ordinance.

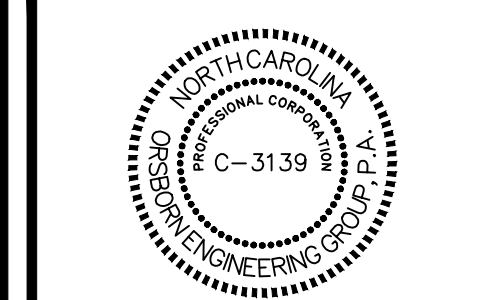
X. Binding Effect of the Rezoning Application:

If this Rezoning Petition is approved, all conditions applicable to the development of the Site imposed under the Rezoning Plan will, unless amended in the manner provided herein and under the Ordinance, be binding upon and inure to the benefit of the Petitioner and subsequent owners of the Site or Lots), as applicable, and their respective heirs, devisees, personal representatives, successors in interest or assigns.

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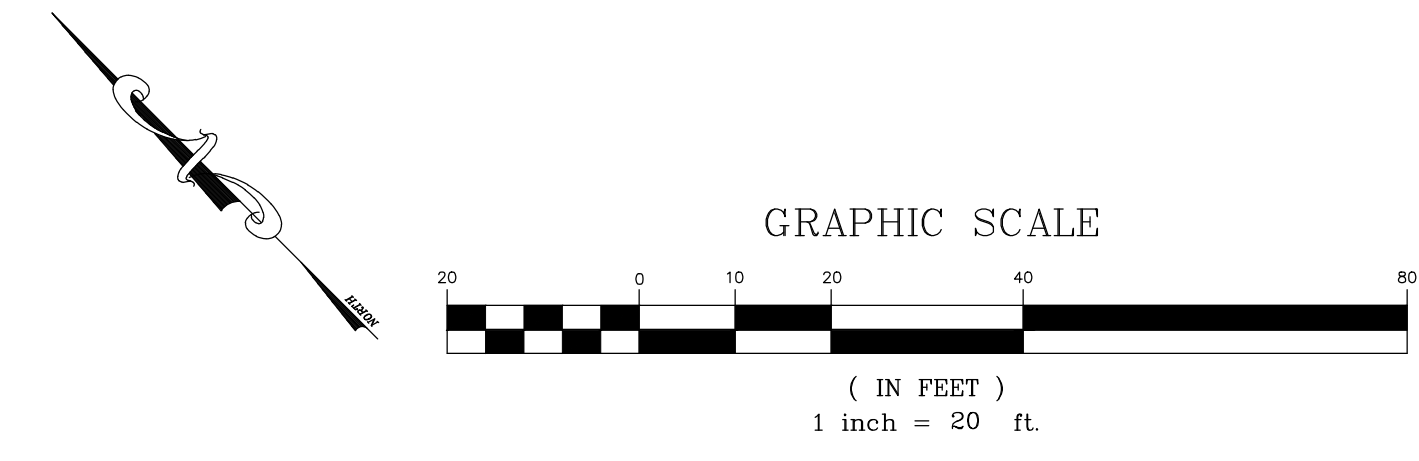
TECHNICAL SITE PLAN
PETITION #2020-052
FOR
EAST BOULEVARD OFFICE
1312.1318, 1324 EAST BOULEVARD
CHARLOTTE, NORTH CAROLINA 28203

SELWYN PROPERTY GROUP, INC.
605 LEXINGTON AVE., SUITE 101
CHARLOTTE, NC 28203



NO.	DATE	REVISED PER COMMENTS	REVISED PER COMMENTS	REVISIONS
1	09/14/20			
2	08/17/20			

JOB # 20005
DATE 03/06/20
SCALE: 1" = 20'
DRAWN BY: JAW
APPROVED BY: JCO
RZ 1.0



September 14, 2020, 2:28pm By: JAW/ICW
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