

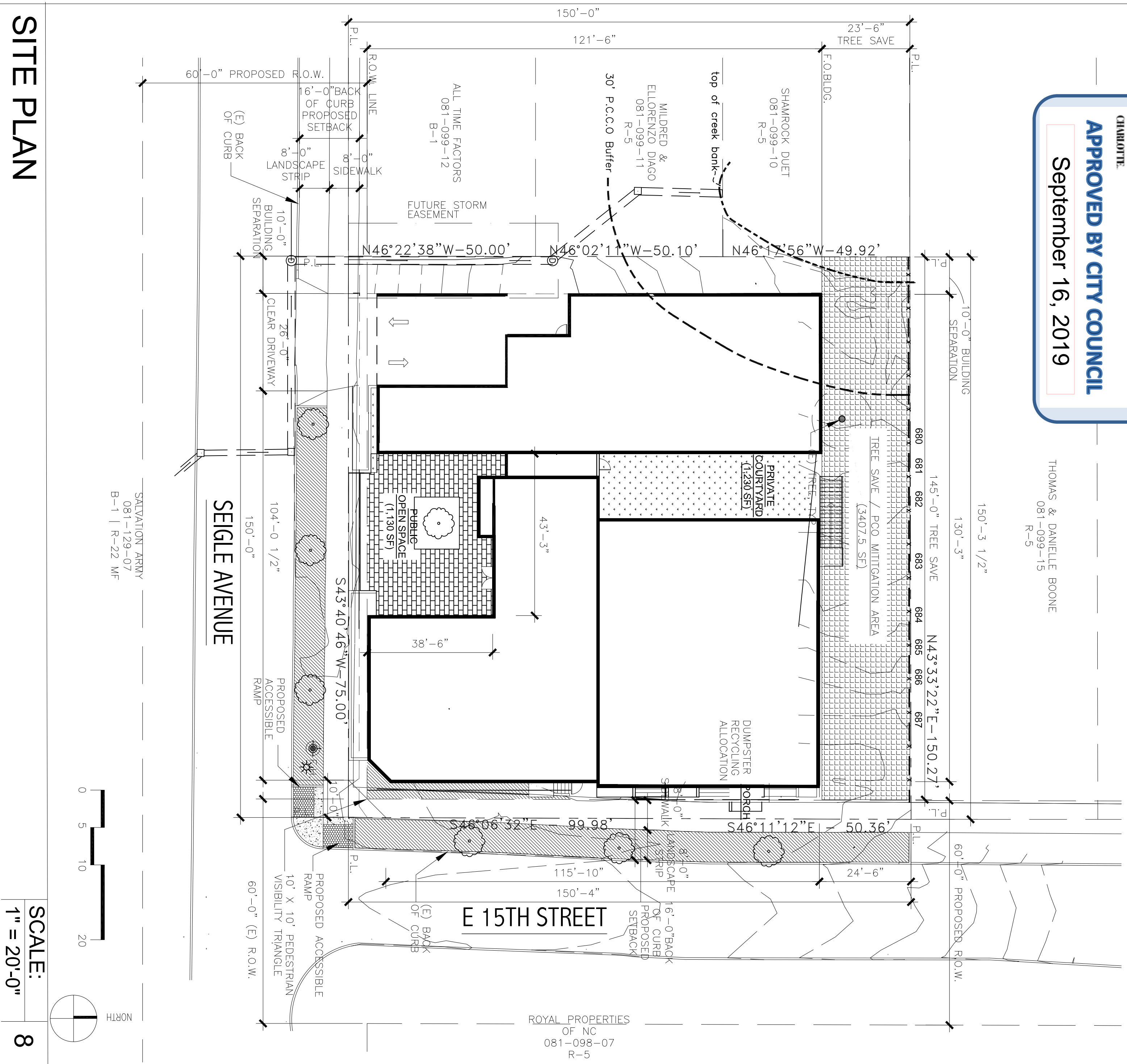
CHARLOTTE SITE PLAN NOTES

- GENERAL PROVISIONS
 - THESE DEVELOPMENT STANDARDS FORM A PART OF THE REZONING PLAN ASSOCIATED WITH THE REZONING PETITION, FILED BY Coho LLC (THE PETITIONER), TO ACCOMMODATE THE DEVELOPMENT OF 28 RESIDENTIAL DWELLING UNITS ON AN APPROXIMATELY 0.51 ACRES OF LAND LOCATED AT THE CORNER OF SEIGLE AVENUE AND 15TH STREET, PARTICULARLY DEPICED ON THE REZONING PLAN (THE "SITE"). THE SITE IS COMPRISED OF TAX PARCEL NUMBERS 08109921, 08109914 & 08109913.
 - DEVELOPMENT OF THE SITE WILL BE GOVERNED BY THE REZONING PLAN, THE APPLICABLE DEVELOPMENT STANDARDS AND THE APPLICABLE PROVISIONS OF THE CITY OF CHARLOTTE ZONING ORDINANCE (THE "ORDINANCE").
 - UNLESS THE ZONING PLAN OR THESE DEVELOPMENT STANDARDS SPECIFY MORE STRINGENT STANDARDS, THE REGULATIONS ESTABLISHED UNDER THE ORDINANCE FOR THE MUDD-GD ZONING DISTRICT SHALL GOVERN THE DEVELOPMENT AND USE OF THE SITE.
 - THE DEVELOPMENT AND USES DEPICED ON THE REZONING PLAN ARE SCHEMATIC IN NATURE AND ARE INTENDED TO DEPIC THE GENERAL ARRANGEMENT OF ACCESS AND UTILITIES OUT THE SITES AND SIZES OF THE DEVELOPMENT AND SITE ELEMENTS DEPICED ON THE REZONING PLAN ARE GRAPHIC REPRESENTATIONS OF THE PROPOSED DEVELOPMENT AND SITE ELEMENTS, AND THEY MAY BE ALTERED OR MODIFIED IN ACCORDANCE WITH THE SETBACK, YARD, LANDSCAPING AND TREE SAVE REQUIREMENTS SET FORTH ON THE REZONING PLAN AND THE DEVELOPMENT STANDARDS. PROVIDED, HOWEVER, THAT NOT MATERIAL CHANGING THE OVERALL DESIGN INTENT DEPICED ON THE REZONING PLAN. THE SETBACKS, AS SHOWN ON THE SITE PLAN, ARE: 16' FRONT SETBACK FROM THE BACK OF CURB ON SEIGLE AVENUE; 16' SIDE SETBACK FROM THE BACK OF CURB ON 15TH STREET; 10' SIDE SETBACK ON THE SOUTHWEST PROPERTY LINE SHARED WITH THE ADJACENT COMMERCIAL AND A 20' REARWARD SETBACK AGAINST THE ADJACENT RESIDENTIAL FACING 15TH.
 - FUTURE AMENDMENTS TO REZONING PLAN AND/OR THESE DEVELOPMENT STANDARDS MAY BE APPLIED FOR BY THE THEN OWNERS(S) OF THE SITE IN ACCORDANCE WITH THE PROVISION OF CHAPTER 6 OF THE ORDINANCE. ANY SUCH FUTURE AMENDMENTS ARE SUBJECT TO SECTION 6.207 OF THE ORDINANCE.
 - PERMITTED USES
 - THE SITE MAY BE UTILIZED FOR ANY RESIDENTIAL USES AVAILABLE IN THE MUDD ZONING DISTRICT, INCLUDING A RESIDENTIAL COMMUNITY CONTAINING UP TO 28 RESIDENTIAL DWELLING UNITS, AND TO ANY INCIDENTAL AND ACCESSORY USES RELATING HERETO, INCLUDING OFFICE LIMITATION, A FLOWER IN THE MUDD ZONING DISTRICT.
 - INTERNAL SIDEWALKS AND PEDESTRIAN CONNECTIONS SHALL BE PROVIDED ON THE SITE AS GENERALLY DEPICED ON THE REZONING PLAN.
 - THE SITE SHALL INCLUDE AN OFFICE SPACE FOR USE AS A LEASING AND MANAGEMENT OFFICE.
 - VEHICULAR ACCESS WILL BE AS GENERALLY DEPICED ON THE REZONING PLAN. THE PLACEMENT AND CONFIGURATION OF THE VEHICULAR ACCESS POINT SHOWN ON THE REZONING PLAN ARE SUBJECT TO ANY MINOR MODIFICATIONS REQUIRED TO ACCOMMODATE FINAL SITE AND CONSTRUCTION PLANS AND DESIGNS, AND TO ANY ADJUSTMENTS REQUIRED BY CDDT FOR APPROVAL.
 - AS DEPICED ON THE REZONING PLAN, THE SITE WILL BE SERVED BY A PRIVATE DRIVEWAY, AND MINOR ADJUSTMENT TO THE LOCATION OF THE DRIVEWAY SHALL BE ALLOWED DURING THE CONSTRUCTION PERMITTING PROCESS.
 - SUBTERRANEAN PARKING WILL BE PROVIDED TO EXCEED THE MUDD ZONING ORDINANCE REQUIREMENTS. SUCH SUBTERRANEAN PARKING SHALL PROVIDE 35 PARKING STALLS WITH ADDITIONAL PARKING PROVIDED BY THE USE OF 13 MECHANICAL LIFTS FOR A TOTAL PARKING CAPABILITY OF 48 SPACES.
 - ALL TRANSPORTATION IMPROVEMENTS WILL BE APPROVED AND CONSTRUCTED BEFORE THE SITE'S FIRST BUILDING CERTIFICATE OF OCCUPANCY IS ISSUED. THE CORNER OF SEIGLE AVENUE AND EAST 15TH STREET TO MEET CITY OF CHARLOTTE AND PROMAG STANDARDS.
 - PETITIONER SHALL SUPPORT THE RESTRICTION OF ON-STREET PARKING ON 15TH ST. TO ONLY ONE UNIT, SUCH TIME AS THE PARKING HAS BEEN RESTRICTED TO ONE SIDE OF THIS BLOCK OF 15TH STREET. PROHIBITING PARKING ON THE OTHER SIDE OF SEIGLE AVENUE AT THE CORNER OF BELMONT AVE. AND SEIGLE AVE. PER AGREEMENT WITH THE BELMONT COMMUNITY ASSOCIATION.
 - ARCHITECTURAL STANDARDS
 - PERMITTED EXTERIOR BUILDING MATERIALS SHALL COMPRISE OF BRICK, CEDAR SHAKE, WOOD SIDING, FIBER CEMENT SIDING, STUCCO, MASONRY AND/OR OTHER MATERIAL APPROVED BY THE CITY PLANNING DIRECTOR.
 - PITCHED ROOFS, IF PROVIDED, SHALL BE 5:12 EXCEPT THAT ROOFS FOR PORCHES AND ATTACHED SHEDS MAY BE NO LESS THAN 2:12. UNLESS A FLAT ROOF ARCHITECTURAL STYLE IS EMPLOYED.
 - PERMITTED SLOPED ROOF MATERIALS ARE ASPHALT SHINGLES, COMPOSITION SHINGLES, WOOD SHAKES, TIN, STANDING SEAM METAL, AND WOOD SHAKES.
 - THE SCHEMATIC DEPICTION OF SIDEWALKS, DRIVEWAY, SITE ELEMENTS (COLLECTIVELY "THE DEVELOPMENT/SITE ELEMENTS") SET FORTH ON THE REZONING PLAN SHOULD BE REVIEWED IN CONJUNCTION WITH THE PROVISION OF THESE DEVELOPMENT STANDARDS. THE LAYOUT, LOCATIONS, SIZES AND FORMULATIONS OF THE DEVELOPMENT/SITE ELEMENTS DEPICED BY THE REZONING PLAN ARE GRAPHIC REPRESENTATIONS OF THE DEVELOPMENT/SITE ELEMENTS PROPOSED. CHANGES TO THE REZONING PLAN WILL BE REVIEWED AND APPROVED AS ALLOWED BY SECTION 6.207 OF THE ORDINANCE.
 - THE HEIGHT OF THE BUILDING SHALL NOT EXCEED 44 FT. TALL AS DETERMINED BY THE ORDINANCE STANDARDS FOR MEASUREMENT OF HEIGHT.
 - ALL PRINCIPAL AND ACCESSORY BUILDINGS ABUTTING A NETWORK REQUIRED PUBLIC OR PRIVATE STREET SHALL COMPRISE A MINIMUM OF 30% THAT BUILDING'S ENTIRE FAÇADE FACING SUCH NETWORK STREET USING BRICK, NATURAL STONE (OR ITS SYNTHETIC EQUIVALENT) STUCCO OR OTHER MATERIAL APPROVED BY THE PLANNING DIRECTOR.
 - LET THE FOLLOWING AS PROHIBITED BUILDING MATERIALS: VINYL SIDING AS A PROHIBITED EXTERIOR BUILDING MATERIAL EXCEPT ON HAND RAILS, WINDOWS OR DOOR TRIM; CONCRETE MASONRY UNITS NOT ARCHITECTURALLY FINISHED.
 - BUILDINGS SHALL BE PLACED SO AS TO PRESENT A FRONT OR SIDE FAÇADE TO ALL NETWORK REQUIRED STREETS (PUBLIC OR PRIVATE). BUILDINGS SHALL FRONT A MINIMUM OF 60% OF THE TOTAL NETWORK REQUIRED STREET FRONTAGE ON THE SITE (EXCLUSIVE OF DRIVEWAYS, PEDESTRIAN ACCESS, POINTS, ACCESSIBLE SIDEWALKS, DRIVEWAYS, DRIVEWAY FACILITIES). PARKING LOTS SHALL NOT BE LOCATED BETWEEN ANY BUILDING AND ANY NETWORK REQUIRED PUBLIC OR PRIVATE STREET; DRIVEWAYS INTENDED TO SERVE SINGLE UNITS SHALL BE PROHIBITED ON ALL NETWORK REQUIRED STREETS.
 - INCLUDE EXCEEDING 120 FEET IN LENGTH SHALL INCLUDE MODULATIONS OF THE BUILDING MASSING/FAÇADE PLANE (SUCH AS RECESSES, PROJECTIONS, AND ARCHITECTURAL DETAILS). MODULATIONS SHALL BE A MINIMUM OF 10 FEET WIDE AND SHALL PROJECT OR RECESS A MINIMUM OF SIX FEET EXTENDING THROUGH THE BUILDING.
 - BUILDING ELEVATIONS SHALL BE DESIGNED WITH VERTICAL BAYS OR ARTICULATED ARCHITECTURAL FAÇADE FEATURES WHICH MAY INCLUDE BUT NOT BE LIMITED TO A COMBINATION OF EXTERIOR WALL OFFSETS, PROJECTIONS, RECESSES, PLASTERS, BANDING AND CHANGE IN MATERIALS OR COLORS. BUILDINGS SHALL BE DESIGNED WITH A RECOGNIZABLE NETWORK REQUIRED PUBLIC OR PRIVATE STREET. SUCH BASE MAY BE EXECUTED THROUGH USE OF PREFERRED EXTERIOR BUILDING MATERIALS OR ARTICULATED ARCHITECTURAL FAÇADES FEATURES AND NETWORK REQUIRED PUBLIC OR PRIVATE STREETS SHALL NOT HAVE EXPANSIONS OF BLANK WALLS GREATER THAN 20 FEET IN ALL DIRECTIONS AND ARCHITECTURAL FEATURES SUCH AS BUTTERED EDGES AND CORNICES SHALL BE LIMITED TO ONE SIDE OF THE BUILDING. MATERIALS WILL BE PROVIDED TO AVOID A STERILE UNARTICULATED BLANK TREATMENT OF SUCH WALLS.
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 - ROOF FORM AND LINES SHALL BE DESIGNED TO AVOID THE APPEARANCE OF A LARGE MONOLITHIC FLAT ROOF STRUCTURE AS FOLLOWS: LONG PITCHED OR EXPANSIVE WITHOUT VARIATION BY INCLUDING CHANGES IN HEIGHT AND/OR ROOF FORM TO INCLUDE BUT NOT BE LIMITED TO GABLES, HIPS, DOMES AND BERGEBLES FOR GABLES, HIPS, DOMES AND BERGEBLES TO BE LIMITED TO ONE SIDE OF THE BUILDING. A MINIMUM OF 4:12 EXCLUDING BUILDINGS WITH A FLAT ROOF AND PARAPET WALLS; ROOF TOP HVAC AND RELATED MECHANICAL EQUIPMENT WILL BE SCREENED FROM PUBLIC VIEW AT GRADE FROM THE NEAREST STREET.
 - SERVICE AREAS SUCH AS DUMPSTERS, REFUSE AREAS, RECYCLING AND STORAGE SHALL BE SCREENED FROM VIEW WITH MATERIALS AND DESIGN TO BE COMPATIBLE WITH THE BUILDING. RECYCLING AND STORAGE SHALL BE PROVIDED WITHIN A CLASS B BUFFER NOT LESS THAN 10 FEET IN DEPTH AT ALL ABOVE GRADE SIDEWALK EXTENSIONS SHOULD BE PROVIDED BETWEEN ALL STREET TREES ON ALL PUBLIC AND PRIVATE NETWORK REQUIRED STREETS WHEN PARKING AND STORAGE ARE PROVIDED.
 - DUMPSTERS SHALL BE LOCATED ENCLOSED PARKING AREA

NOTES

SCALE: 20 N.T.S.

Charlotte
Planning Department
APPROVED BY CITY COUNCIL
September 16, 2019

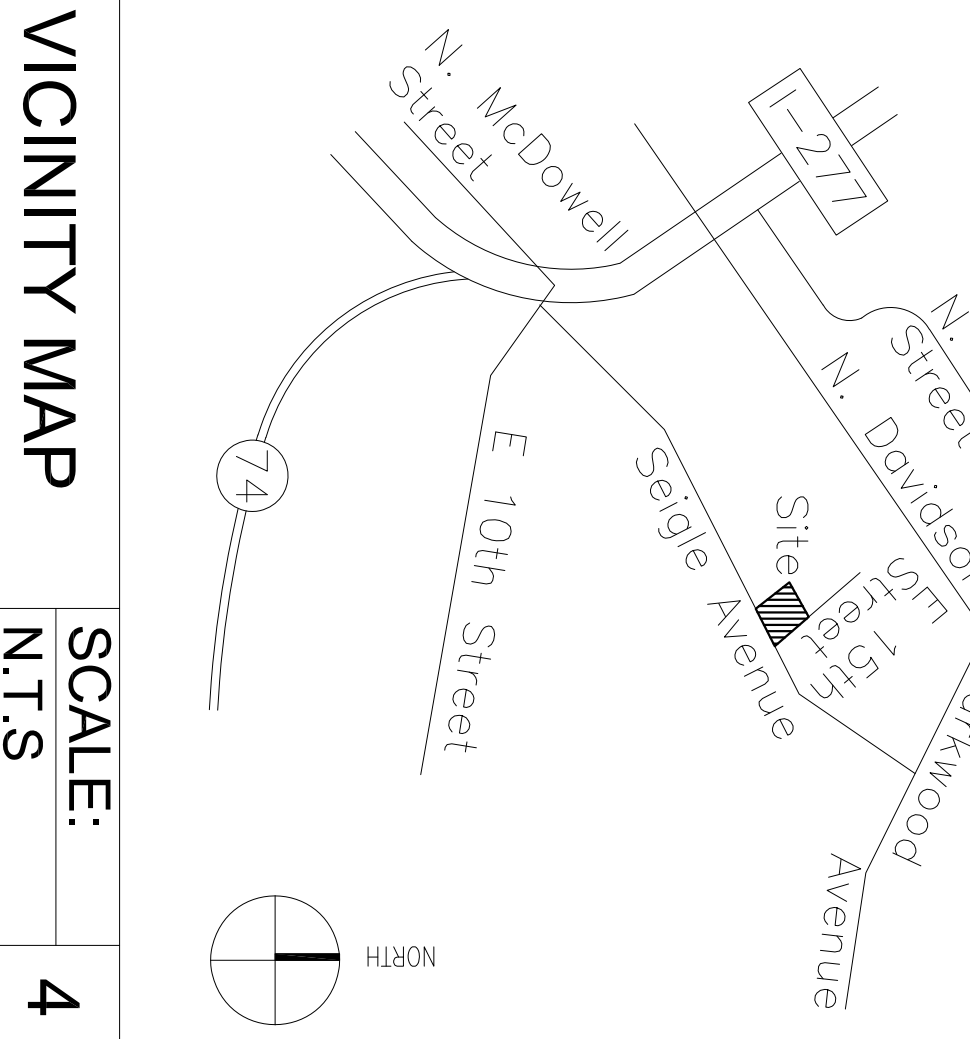


SITE DEVELOPMENT DATA:	
SITE ACREAGE	0.51 ACRES
LOT AREA	22,533 SF
TAX PARCEL #	081-099-14 (TRACT 1) 081-099-13 (TRACT 2) 081-099-21 (TRACT 3)
EXISTING ZONING:	R-5
PROPOSED ZONING:	MUDD-GD
EXISTING USE:	SINGLE FAMILY DWELLING
PROPOSED USE:	MULTIFAMILY DWELLING
BUILDING HEIGHT:	44'-0"
BUILDING AREA (GROSS):	44,000 SF
PROP. FLOOR AREA RATIO:	1.95
DENSITY:	56 D.U./A.
TOTAL UNITS:	28 RESIDENTIAL UNITS
PARKING PROVIDED:	48
PARKING RATIO:	35 SPACES
	1.3 HYDRAULIC-LIFT SPACES
	3BD ALLOCATED PARKING: 2 STALLS
	2BD ALLOCATED PARKING: 1 STALL
	1BD ALLOCATED PARKING: 1 STALL
TREE SAVE SF:	3,407 SF

OPEN SPACE REQUIREMENTS (MUDD-GD):	
LOT AREA	22,533 SF
OPEN SPACE REQ'D:	22,533 SF / 150 SF = 150.2
(1 SF / 150 SF)	150.2 SF OPEN SPACE REQ'D
OPEN SPACE PROVIDED:	1,130 SF

LEGEND:	
--- x --- x ---	PROPERTY LINE
---	FENCE AND LANDSCAPE SCREENING
---	TOP OF CREEK BANK
---	30' P.C.C.O. WITH PROPOSED TREE SAVE AREA
---	(E) STORMWATER PIPE AND STRUCTURES TO BE RELOCATED.
---	PUBLIC COURTYARD/OPEN SPACE
---	LANDSCAPE STRIP
---	TREE SAVE (TOTAL: 3,407 SF)
---	EXISTING TREE TO BE SAVED
---	PROPOSED TREE

SITE DATA	
SCALE:	1" = 20'-0"
N.T.S.	8



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CONSULTANT:

REVISIONS:

NO.	DATE	DESCRIPTION
1	19.03.11	REVISED
2	19.06.21	REVISED
3	19.07.09	REVISED
4	19.09.17	REVISED

APPROVAL:

PROJ. NO.: 2018-17
 SHEET NO.: **A1.1**

VICINITY MAP SCALE: 4 N.T.S.